

# EXHIBIT 3



**GLENDALÉ FAMILY APARTMENTS**  
**100% AFFORDABLE HOUSING**  
900 E BROADWAY  
ENTITLEMENT SET



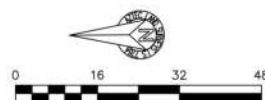
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PROJECT INFORMATION			REQUIREMENTS PER GLENDALE MUNICIPAL CODE																			
<div>PROJECT NAME:</div> <div>ADDRESS:</div> <div>OWNER:</div> <div>PROJECT DESCRIPTION:</div> <div>CONSTRUCTION TYPE:</div> <div>OCCUPANCY TYPE:</div> <div>ZONING:</div> <div>SITE AREA:</div> <div>PROPOSED UNIT MIX:</div>	GLENDALE FAMILY APARTMENTS		<div>SETBACKS:</div> <div>C3 ZONE</div> <div>- FRONT, STREET SIDE, INTERIOR:</div> <div>REQUIRED SETBACK</div> <div>NONE</div> <div>R2250 ZONE</div> <div>- STREET FRONT (CEDAR STREET):</div> <div>REQUIRED SETBACK:</div> <div>1ST FLOOR:</div> <div>20 FT MIN; 23 FT AVG</div> <div>2ND/3RD FLOOR:</div> <div>23 FT MIN; 26 FT AVG</div> <div>PROPOSED SETBACK*:</div> <div>8 FT</div> <div>* NOTE: REQUESTED DENSITY BONUS CONCESSION #1</div> <div>- INTERIOR (SOUTH):</div> <div>REQUIRED SETBACK:</div> <div>1ST FLOOR:</div> <div>5 FT MIN; 8 FT AVG</div> <div>2ND FLOOR:</div> <div>8 FT MIN ; 11 FT AVG</div> <div>3RD FLOOR:</div> <div>11 FT MIN ; 14 FT AVG</div> <div>PROPOSED SETBACK:</div> <div>20 FT EASEMENT +8 FT</div> <div>- INTERIOR (VACATED ALLEY):</div> <div>REQUIRED SETBACK:</div> <div>1ST FLOOR:</div> <div>5 FT MIN; 8 FT AVG</div> <div>2ND FLOOR:</div> <div>8 FT MIN ; 11 FT AVG</div> <div>3RD FLOOR:</div> <div>11 FT MIN ; 14 FT AVG</div> <div>PROPOSED SETBACK:</div> <div>1ST FLOOR:</div> <div>5 FT MIN; 8 FT AVG</div> <div>2ND FLOOR:</div> <div>8 FT MIN ; 11 FT AVG</div> <div>3RD FLOOR*:</div> <div>11 FT MIN</div> <div>* NOTE: REQUESTED DENSITY BONUS CONCESSION #2</div>	<div>OPEN SPACE:</div> <div>*SEE SHEETS G.020-021-022</div> <div>REQUIRED OPEN SPACE:</div> <div>COMMON OPEN SPACE:</div> <div>15,350 SF</div> <div>PRIVATE OPEN SPACE:</div> <div>3,720 SF</div> <div>PROPOSED OPEN SPACE:</div> <div>COMMON OPEN SPACE:</div> <div>15,350 SF</div> <div>PRIVATE OPEN SPACE:</div> <div>3,720 SF</div> <div>LAUNDRY FACILITIES:</div> <div>REQUIRED APPLIANCES:</div> <div>1 WASHER AND 1 DRYER PER 10 UNITS</div> <div>13 WASHER, 13 DRYERS</div> <div>PROVIDED :</div> <div>(COMMON LAUNDRY ROOM)</div> <div>STORAGE SPACE:</div> <div>REQUIRED STORAGE SPACE:</div> <div>90 CF/UNIT</div> <div>= 8,370 CF</div> <div>PROVIDED STORAGE SPACE:</div> <div>8,370 CF</div>																		
	900 E BROADWAY, GLENDALE, CA 91205																					
	CITY OF GLENDALE																					
	(92) UNITS OF 100% AFFORDABLE HOUSING + (1) MANAGER'S UNIT, 2 LEVELS OF SUBTERRANEAN PARKING AND GROUND FLOOR AMENITIES																					
	4 LEVELS TYPE VA OVER 1 LEVEL TYPE IA ABOVE GRADE, 2 LEVELS TYPE IA BELOW GRADE																					
	R-2 ABOVE S-2																					
	C3-I (R1250) R-2250																					
	C3-I (R1250): 20,800 SF R-2250: 16,000 SF TOTAL: 36,800 SF																					
STUDIO: 25 UNITS (27%) 1 BR: 20 UNITS (22%) 2 BR: 23 UNITS (25%) + MANAGER'S UNIT 3 BR: 24 UNITS (26%)																						
DENSITY BONUS INCENTIVES PER GLENDALE MUNICIPAL CODE 30.36			<div>DISTANCE BETWEEN DWELLINGS:</div> <div>REQUIRED DISTANCE:</div> <div>12 FT MIN</div> <div>PROPOSED DISTANCE:</div> <div>12 FT MIN</div> <div>UNIT SIZES:</div> <div>REQUIRED UNIT SIZES:</div> <div>EFFICIENCY AND 1 BR:</div> <div>600 SF</div> <div>2 BR:</div> <div>800 SF</div> <div>3 BR:</div> <div>1000 SF</div> <div>PROPOSED UNIT SIZES (MIN):</div> <div>STUDIO*:</div> <div>400 SF</div> <div>1 BR:</div> <div>600 SF</div> <div>2 BR:</div> <div>800 SF</div> <div>3 BR:</div> <div>1000 SF</div> <div>* NOTE: REQUESTED DENSITY BONUS CONCESSION #3</div> <div>LOT COVERAGE:</div> <div>(R-1250 + R-2250)</div> <div>ALLOWED LOT COVERAGE:</div> <div>50% OF LOT AREA</div> <div>18,400 SF</div> <div>PROPOSED LOT COVERAGE*:</div> <div>66% OF LOT AREA</div> <div>24,150 SF</div> <div>* NOTE: REQUESTED DENSITY BONUS CONCESSION #4</div> <div>BUILDING HEIGHT:</div> <div>ALLOWED BUILDING HEIGHT:</div> <div>C3-I:</div> <div>50 FT / 3 STORIES</div> <div>R-2250:</div> <div>36 FT / 3 STORIES</div> <div>PROPOSED BUILDING HEIGHT*:</div> <div>59 FT / 5 STORIES</div> <div>* NOTE: REQUESTED DENSITY BONUS CONCESSION #5</div> <div>** FROM BUILDING LOWEST POINT TO T.O. PARAPET</div> <div>FAR:</div> <div>*SEE SHEETS G.030-031-032</div> <div>ALLOWABLE FAR:</div> <div>R-1250:</div> <div>1.2:1</div> <div>R-2250:</div> <div>0.85:1</div> <div>PROPOSED FAR*:</div> <div>2.6:1</div> <div>* NOTE: REQUESTED DENSITY BONUS CONCESSION #6</div>	<div>TOTAL REQUIRED PARKING</div> <div>900 E BROADWAY REQUIRED PARKING:</div> <div>141 STALLS</div> <div>*PER 30.36.090 DENSITY BONUS INCENTIVES</div> <div>- 0/1 BR: 1 STALL X 45 UNITS:</div> <div>45 STALLS</div> <div>- 2/3 BR: 2 STALLS X 48 UNITS:</div> <div>96 STALLS</div> <div>920 E BROADWAY REQUIRED PARKING:</div> <div>22 STALLS</div> <div>* NOTE: SHARED PARKING FACILITIES WITH ADJACENT PROPERTIES IN SEPARATE AGREEMENT</div> <div>TOTAL REQUIRED PARKING:</div> <div>163 STALLS</div> <div>TOTAL PROVIDED PARKING:</div> <div>163 STALLS</div> <table><tr><td>RESIDENTIAL</td><td>89</td></tr><tr><td>(1) STANDARD: 89</td><td>89</td></tr><tr><td>RESIDENTIAL</td><td>25</td></tr><tr><td>(2) COMPACT: 25</td><td>25</td></tr><tr><td>RESIDENTIAL</td><td>8</td></tr><tr><td>(3) ACCESSIBLE: 8</td><td>8</td></tr><tr><td>RESIDENTIAL</td><td>41</td></tr><tr><td>(4) TANDEM: 41</td><td>41</td></tr><tr><td>GRAND TOTAL</td><td>163</td></tr></table> <div>REQUIRED ACCESSIBLE PARKING:</div> <div>900 E BROADWAY REQUIRED STALLS:</div> <div>7 STALLS</div> <div>- 1 STALL/UNIT PROVIDED:</div> <div>1 STALL/REQUIRED MOBILITY UNIT</div> <div>5 STALLS</div> <div>- OVER 1 STALL/UNIT PROVIDED:</div> <div>2% OF STALLS OVER 1/UNIT</div> <div>2 STALLS</div> <div>920 E BROADWAY REQUIRED STALLS:</div> <div>1 STALL</div> <div>- 1/25 TOTAL PARKING SPACES</div> <div>1 STALL</div> <div>TOTAL REQUIRED ACCESSIBLE SPACES:</div> <div>8 STALLS</div> <div>*PER CBC 11B-208</div> <div>VAN ACCESSIBLE (1/6 STALLS)</div> <div>2 STALLS</div> <div>PROVIDED ACCESSIBLE PARKING:</div> <div>PROVIDED:</div> <div>VAN ACCESSIBLE</div> <div>8 STALLS</div> <div>2 STALLS</div> <div>REQUIRED EV STALLS:</div> <div>EV-READY = 10% OF TOTAL PARKING:</div> <div>16 STALL</div> <div>EV STALL = 5% OF EV-READY STALLS:</div> <div>1 STALL</div> <div>VAN ACCESSIBLE (1/25 STALLS)</div> <div>1 STALLS</div> <div>PROVIDED EV STALLS</div> <div>EV-READY PROVIDED:</div> <div>16 STALLS</div> <div>EV STALL PROVIDED</div> <div>1 STALL</div> <div>VAN ACCESSIBLE PROVIDED</div> <div>1 STALL</div>	RESIDENTIAL	89	(1) STANDARD: 89	89	RESIDENTIAL	25	(2) COMPACT: 25	25	RESIDENTIAL	8	(3) ACCESSIBLE: 8	8	RESIDENTIAL	41	(4) TANDEM: 41	41	GRAND TOTAL	163
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GRAND TOTAL	163																					
R-1250																						
20,800 SF /1000 SF/UNIT																						
= 21 (20.8) UNITS																						
R-2250																						
16,000 SF /1800 SF/UNIT																						
= 9 (8.88) UNITS																						
TOTAL																						
30 UNITS																						
PROPOSED DENSITY:	PROPOSED UNIT NUMBER:	93 UNITS (310% INCREASE)																				
REQUESTED DENSITY BONUS CONCESSIONS:																						
(1) STREET FRONT SETBACK (CEDAR STREET) DECREASE FOR R2250 PARCEL																						
(2) THIRD FLOOR AVERAGE INTERIOR SETBACK (VACATED ALLEY) DECREASE																						
(3) STUDIO UNIT SIZE DECREASE																						
(4) LOT COVERAGE INCREASE																						
(5) BUILDING HEIGHT INCREASE																						
(6) FAR INCREASE																						

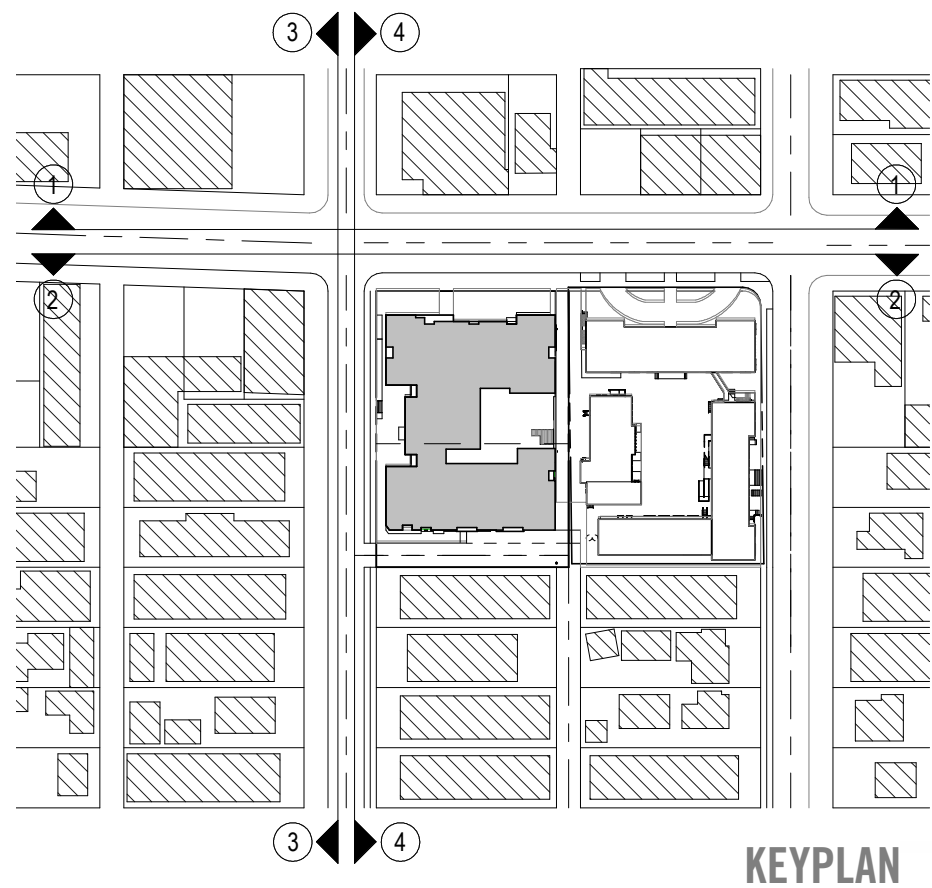


- ① Found spike & C.O.G. washer per R3.
- ② Found spike & C.O.G. washer per R4.
- ③ Found spike & C.O.G. washer spreaders per R5.
- ④ Found spike & C.O.G. washer spreaders per R6.
- ⑤ Set LS 7764 tag at lot corner.



# SURVEY

## ENTITLEMENT SET



1 - E BROADWAY



2 - E BROADWAY



3 - CEDAR ST



4 - CEDAR ST

OPEN SPACE CALCULATIONS

PRIVATE OUTDOOR SPACE REQUIRED PER GLENDALE MUNICIPAL CODE 30.11.050 B

REQUIRED PRIVATE OPEN SPACE : 40 SF/UNIT  
= 93 X 40 SF  
3,720 SF  
PROPOSED PRIVATE OPEN SPACE: 3,720 SF

COMMON OUTDOOR SPACE REQUIRED

COMMON OUTDOOR SPACE REQUIRED PER GLENDALE MUNICIPAL CODE 30.11.050 C  
- FIRST 25 UNITS 200 SF/UNIT  
- SECOND 25 UNITS 150 SF/UNIT  
- UNITS ABOVE 50 100 SF/UNIT  
= (200 SF x 25) + (150 SF x 25) + (100 SF x 43) =  
13,050 SF

ADDITIONAL OPEN SPACE REQUIREMENTS FOR R-2250, R-1650, R-1250 ZONES PER GLENDALE MUNICIPAL CODE 30.31.020.7  
TO BE PROVIDED CONTIGUOUS TO A STREET FRONT/SIDE SETBACK AREA  
- LOTS WITH 90 FT MIN WIDTH 900 SF  
+ 20 SF X ADDITIONAL FT OF LOT WIDTH  
LOT WIDTH: 160 FT (90 FT + 70 FT)  
= 900 + (20 x 70) =  
2,300 SF

TOTAL COMMON OPEN SPACE REQUIRED: 13,050 SF + 2,300 SF =  
15,350 SF

TOTAL COMMON OPEN SPACE PROPOSED: 15,350 SF  
- AS COUNTIGOUS TO STREET/SIDE SETBACK AREA: 2,300 SF

OPEN SPACE PROVIDED BY LEVEL:

COMMON OPEN SPACE

NAME	LEVEL	AREA (SF)
COMMON OPEN SPACE	1ST FLOOR	5021
COMMON OPEN SPACE: COURTYARD	1ST FLOOR	3203
COMMON OPEN SPACE: VACATED ALLEY	1ST FLOOR	1995
COMMON OPEN SPACE: ROOFDECK	5TH FLOOR	5131
GRAND TOTAL		15350

PRIVATE OPEN SPACE

Area	LEVEL	QTY
40 SF	1ST FLOOR	14
40 SF	2ND FLOOR	22
40 SF	3RD FLOOR	22
40 SF	4TH FLOOR	22
40 SF	5TH FLOOR	13
GRAND TOTAL		93
TOTAL AREA		3720 SF

GLENDALE MUNICIPAL CODE OUTDOOR SPACE REQUIREMENTS:

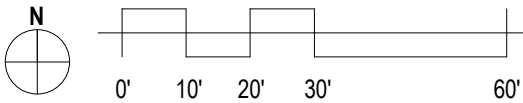
- PRIVATE OUTDOOR SPACE: 4 FT MIN LENGTH OR WIDTH
- COMMON OUTDOOR SPACE: 10 FT MIN SURFACE DIMENSION; 200 SF MIN AREA
- ADDITIONAL OPEN SPACE CONTIGUOUS TO FRONT/STREET SETBACK:
  - MAY BE 'COMMON OUTDOOR AREA', LANDSCAPED
  - TO BE DESIGNED INTEGRATED WITH THE LANDSCAPE OF THE CONTIGUOUS SETBACK AREA
  - SECOND AND THIRD FLOOR TO BE STEPPED BACK MIN 3 FT (2ND FLOOR) AND 6 FT (3RD FLOOR)FROM AREA
- PERMANENTLY LANDSCAPED OPEN SPACE: 25% OF LOT AREA = 8,400 SF

COMMON OPEN SPACE CONTIGUOUS STREET FRONT OPEN SPACE: 2300 SF



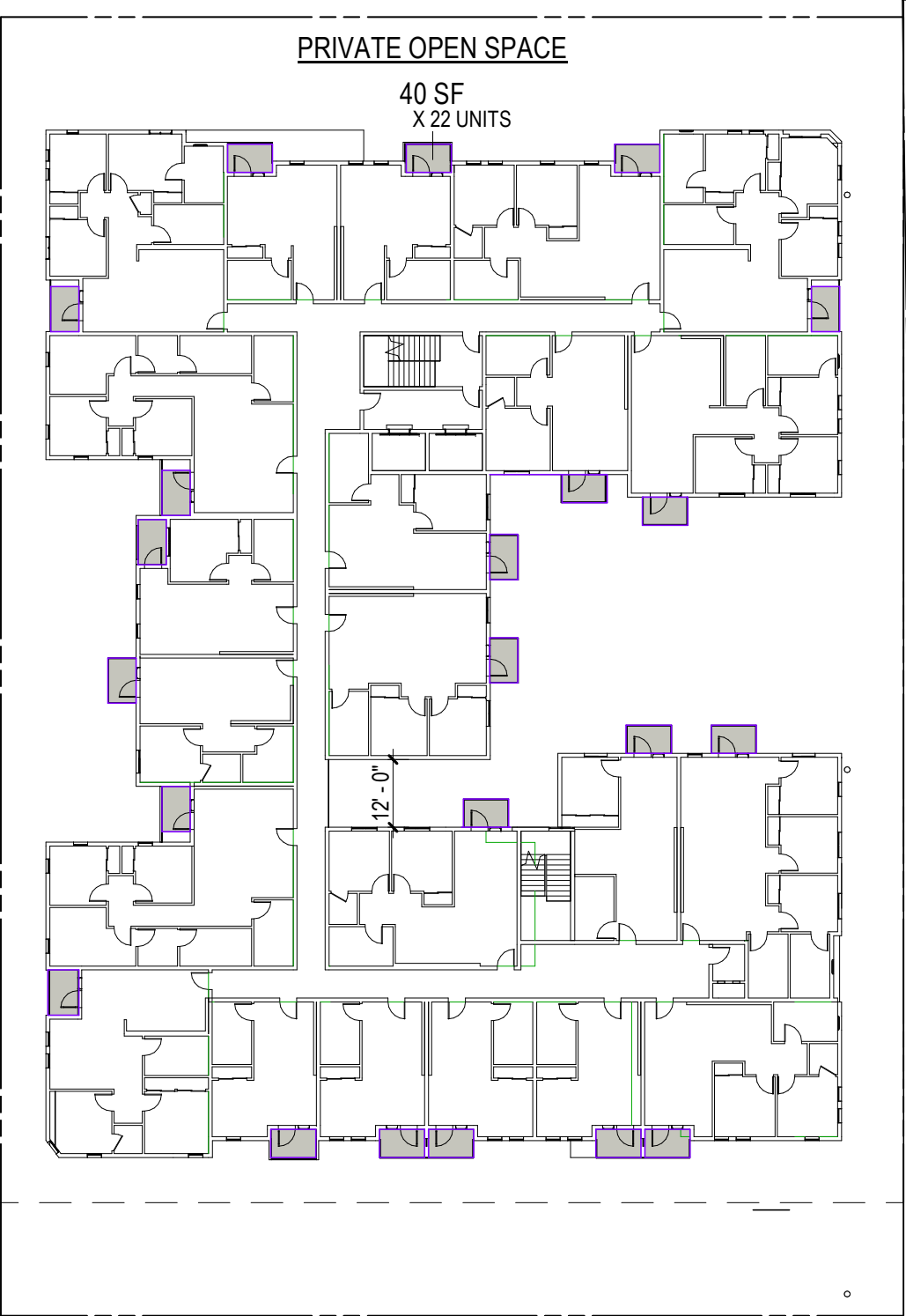
COMMON OPEN SPACE  
CONTIGUOUS STREET FRONT/SIDE OPEN SPACE  
PRIVATE OPEN SPACE

1ST FLOOR OPEN SPACE PLAN

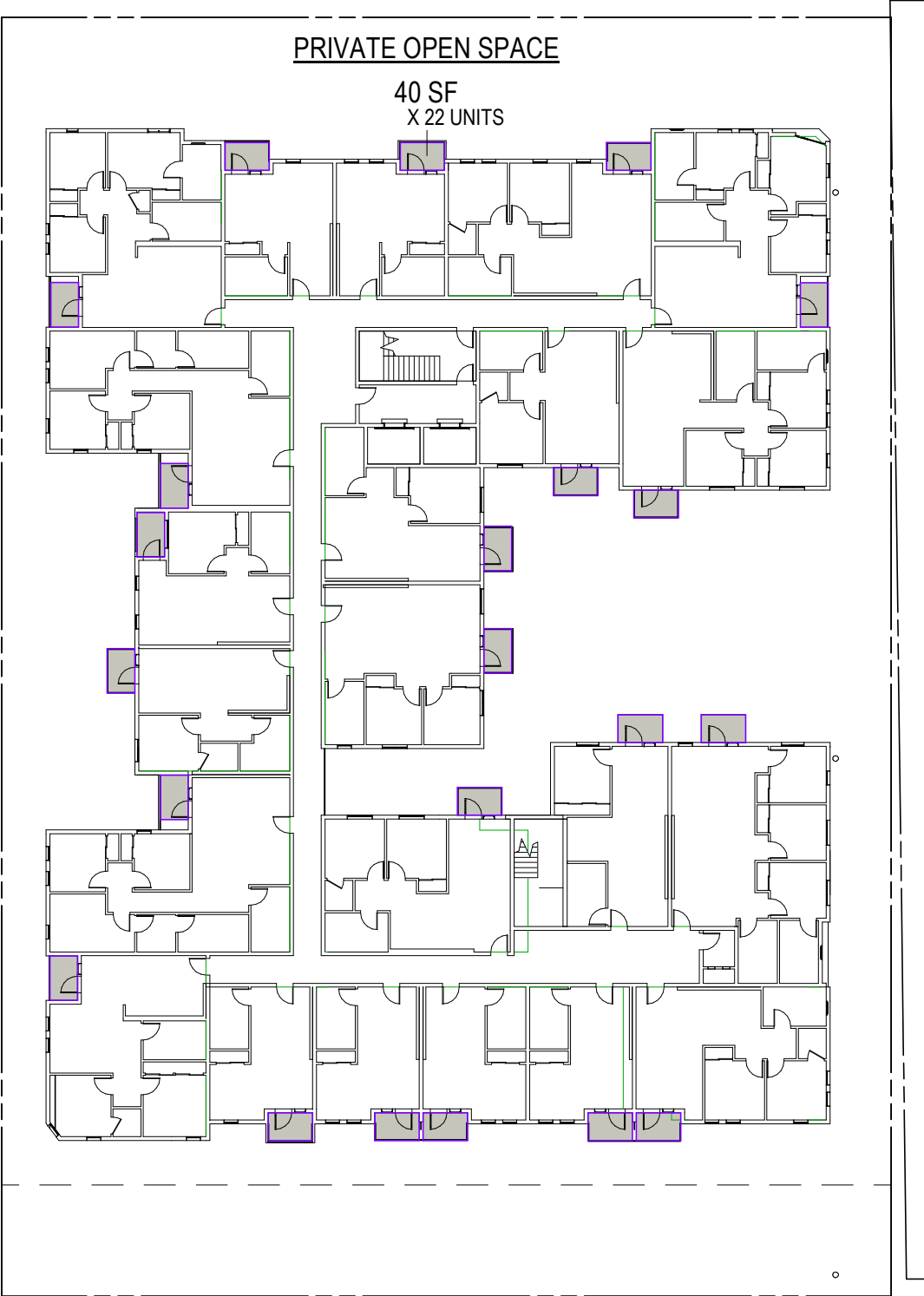


OPEN SPACE CALCULATIONS  
ENTITLEMENT SET





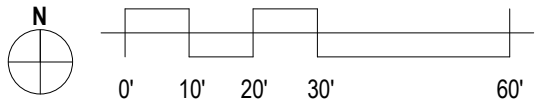
**2ND FLOOR OPEN SPACE PLAN**

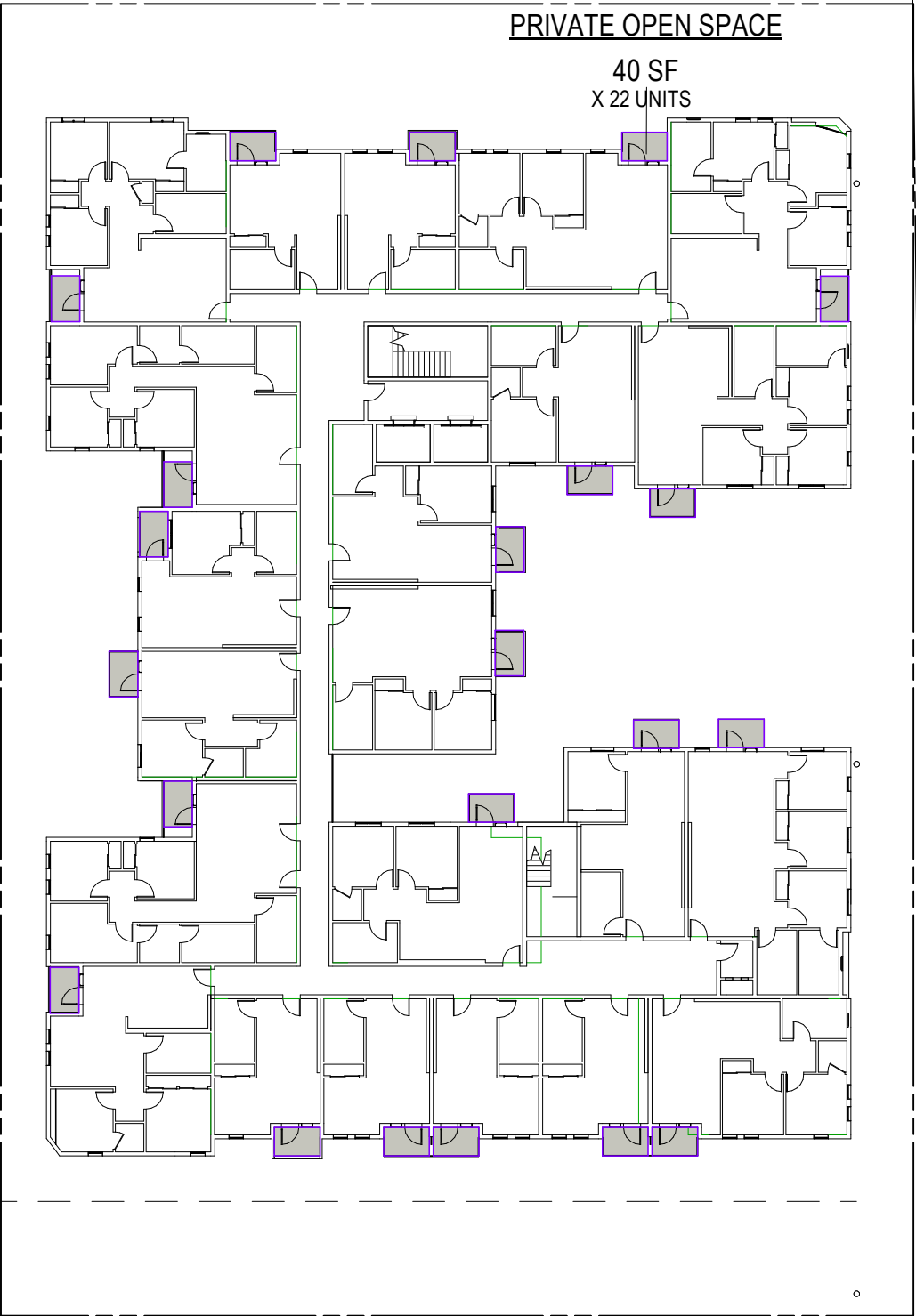


**3RD FLOOR OPEN SPACE PLAN**

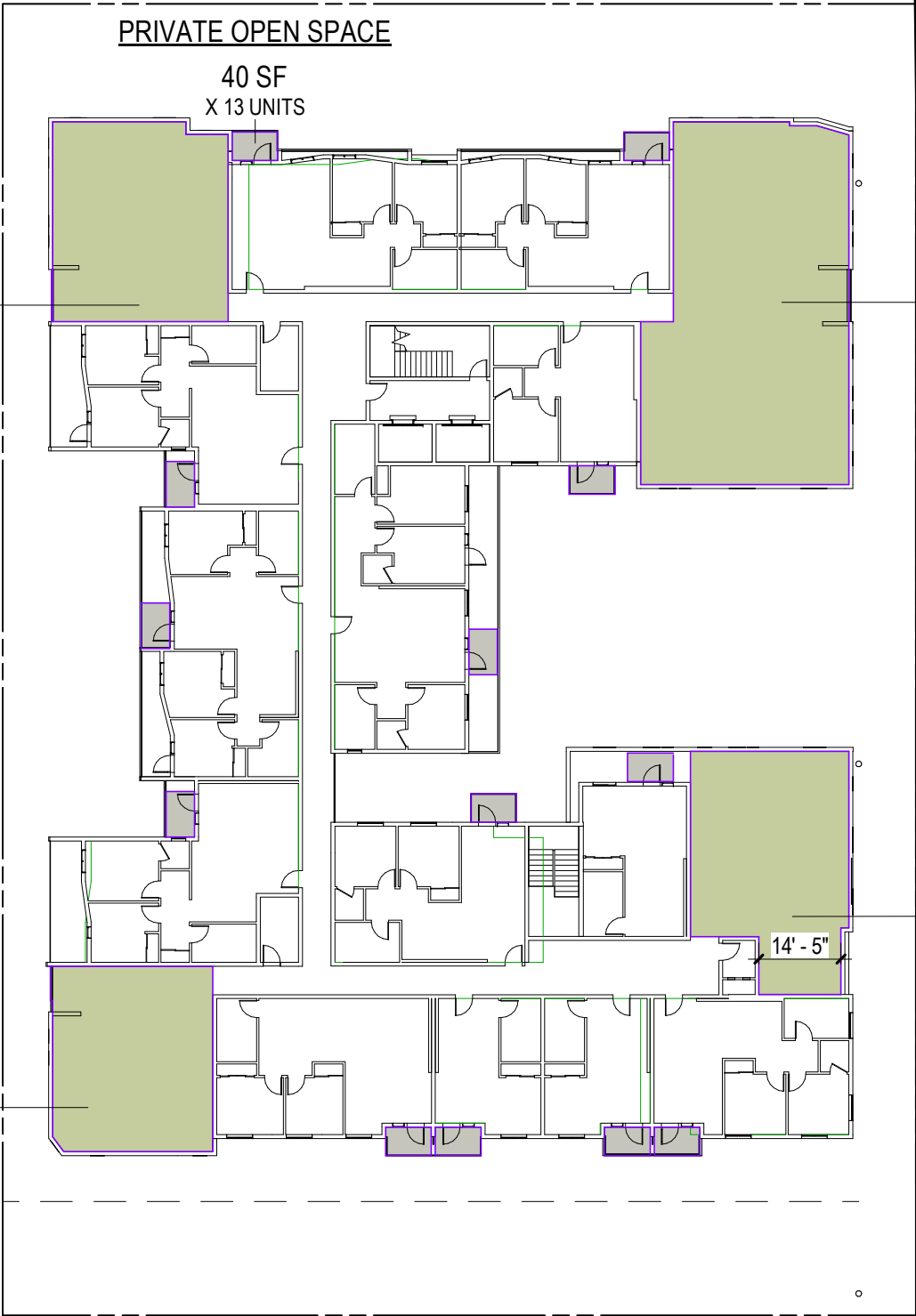
- COMMON OPEN SPACE
- CONTIGUOUS STREET FRONT/SIDE OPEN SPACE
- PRIVATE OPEN SPACE

\* SEE G.020 FOR CALCULATIONS





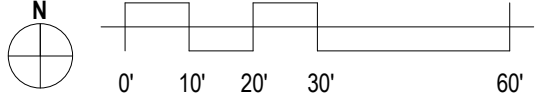
4TH FLOOR OPEN SPACE PLAN



5TH FLOOR OPEN SPACE PLAN

- COMMON OPEN SPACE
- CONTIGUOUS STREET FRONT/SIDE OPEN SPACE
- PRIVATE OPEN SPACE

\* SEE G.020 FOR CALCULATIONS



OPEN SPACE CALCULATIONS  
ENTITLEMENT SET

FAR CALCULATIONS

ALLOWABLE FAR PER GLENDALE MUNICIPAL CODE TABLE 30.11-B:

C3 (R-1250) ZONE :  
- LOT AREA: 20,800 SF  
- ALLOWABLE FAR 1.2:1  
- ALLOWABLE FLOOR AREA: 24,960 SF

R-2250 ZONE :  
- LOT AREA: 16,000 SF  
- ALLOWABLE FAR 0.85 :1  
- ALLOWABLE FLOOR AREA: 13,600 SF

TOTAL ALLOWABLE FLOOR AREA: 38,560 SF

PROPOSED FAR:  
\* NOTE: REQUESTED DENSITY BONUS CONCESSION #5

TOTAL SITE AREA: 36,800 SF

PROPOSED FAR: 2.6:1

PROPOSED FLOOR AREA 93,546 SF

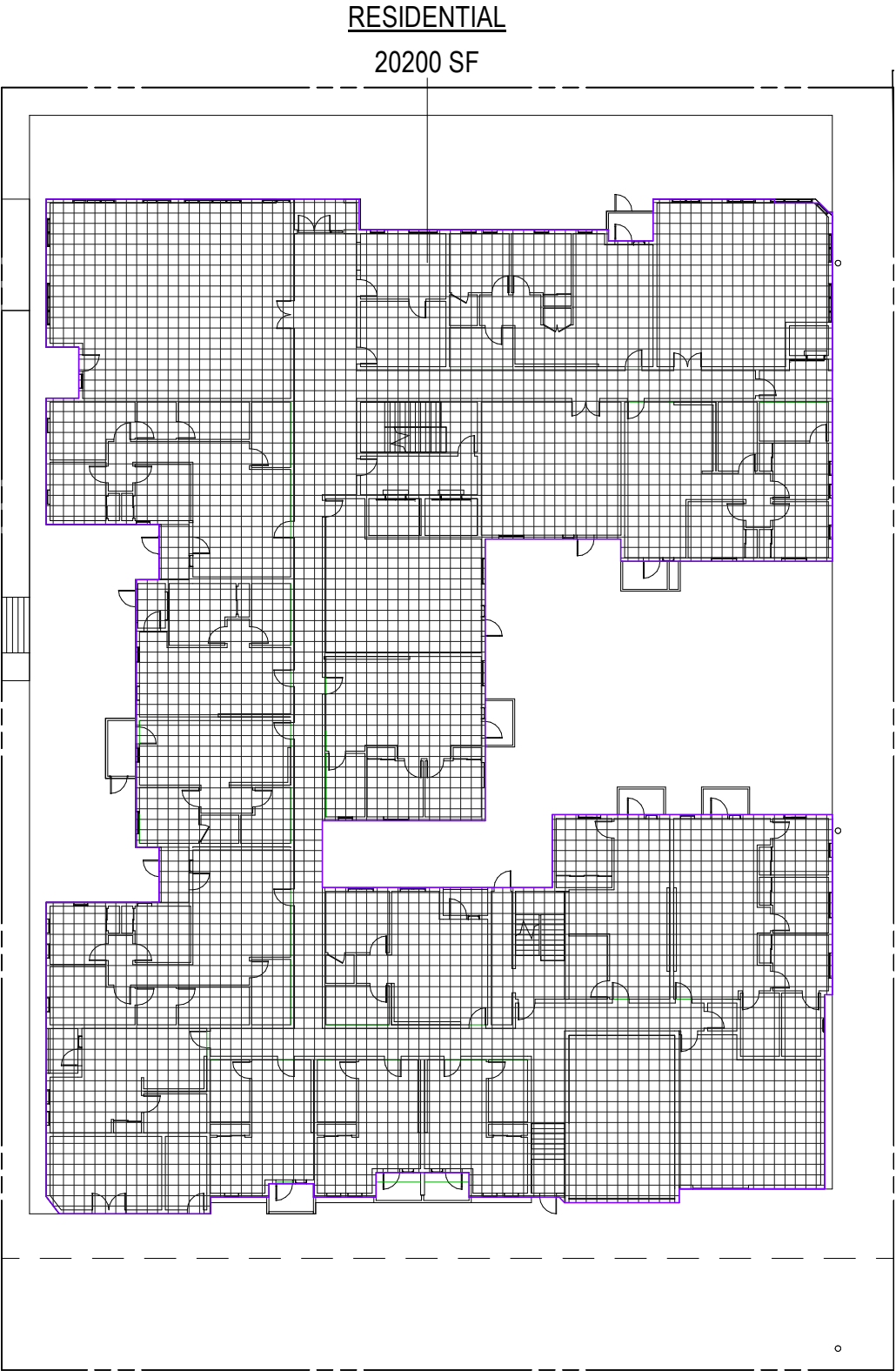
CONTRIBUTING FLOOR AREA BY LEVEL:

LEVEL	FAR	AREA (SF)
1ST FLOOR	RESIDENTIAL	20196
2ND FLOOR	RESIDENTIAL	19925
3RD FLOOR	RESIDENTIAL	19925
4TH FLOOR	RESIDENTIAL	19925
5TH FLOOR	RESIDENTIAL	13575
		93546
GRAND TOTAL		93546

FLOOR AREA (GROSS) PER GLENDALE MUNICIPAL CODE 30.70.070:

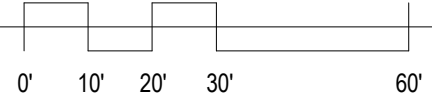
SUM OF THE GROSS HORIZONTAL AREAS OF THE SEVERAL FLOORS OF THE BUILDING MEASURED FROM THE EXTERIOR FACES OF THE EXTERIOR WALLS EXCLUDING EXTERIOR BALCONIES AND PORCHES. FLOOR AREA SHALL NOT INCLUDE INTERIOR PARKING SPACES, LOADING SPACES FOR MOTOR VEHICLES, ANY SPACE WHERE THE FLOOR TO CEILING HEIGHT IS LESS THAN SIX (6) FEET, AND ATTICS AND MECHANICAL PENTHOUSES PROVIDED THERE ARE NO USEABLE ROOMS, NO WINDOWS AND THE MECHANICAL PENTHOUSE AREA IS USED EXCLUSIVELY FOR MECHANICAL EQUIPMENT.

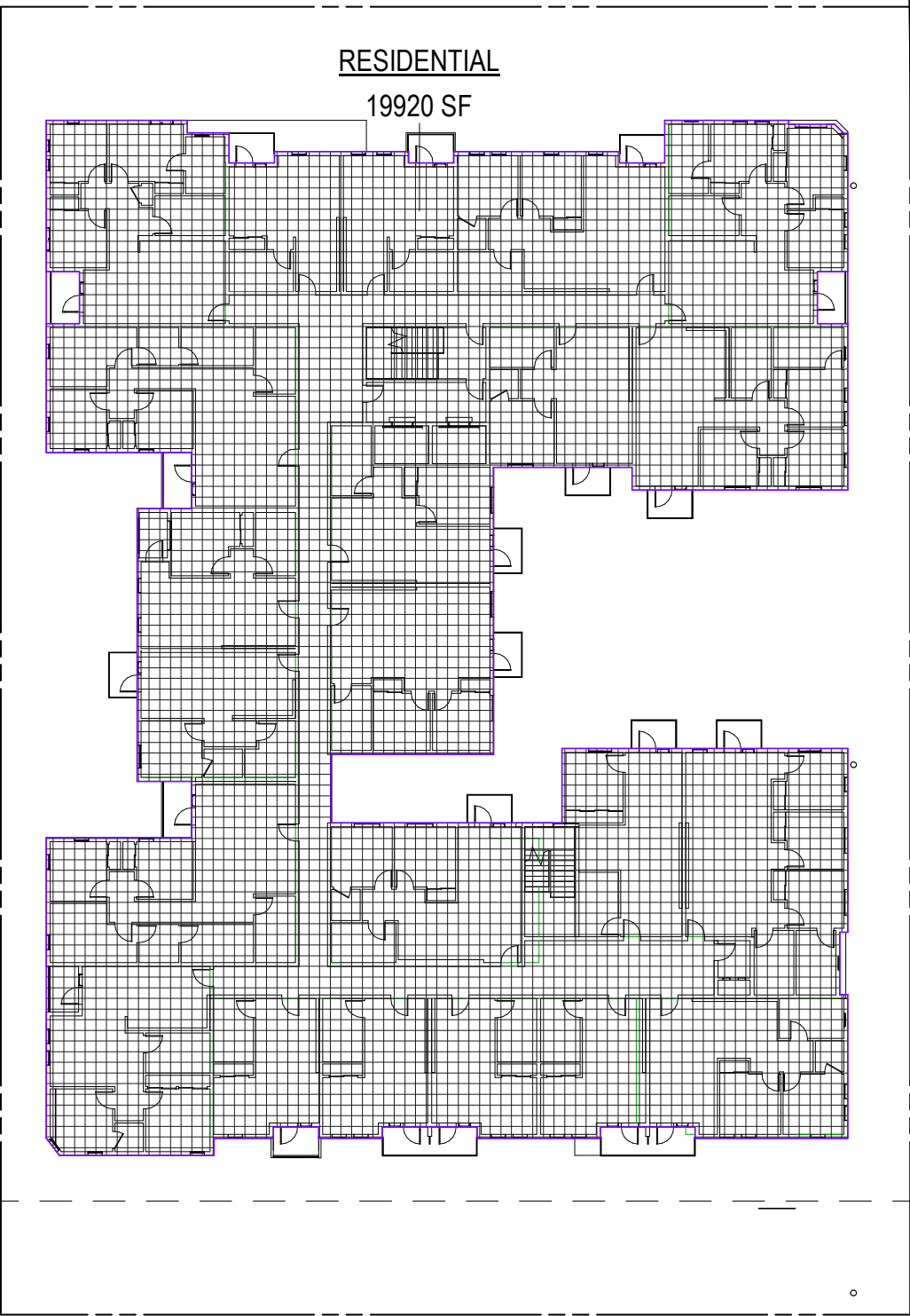
LOT AREA: 36,800 SF  
LOT COVERAGE: 24,150 SF  
66% OF LOT AREA




RESIDENTIAL

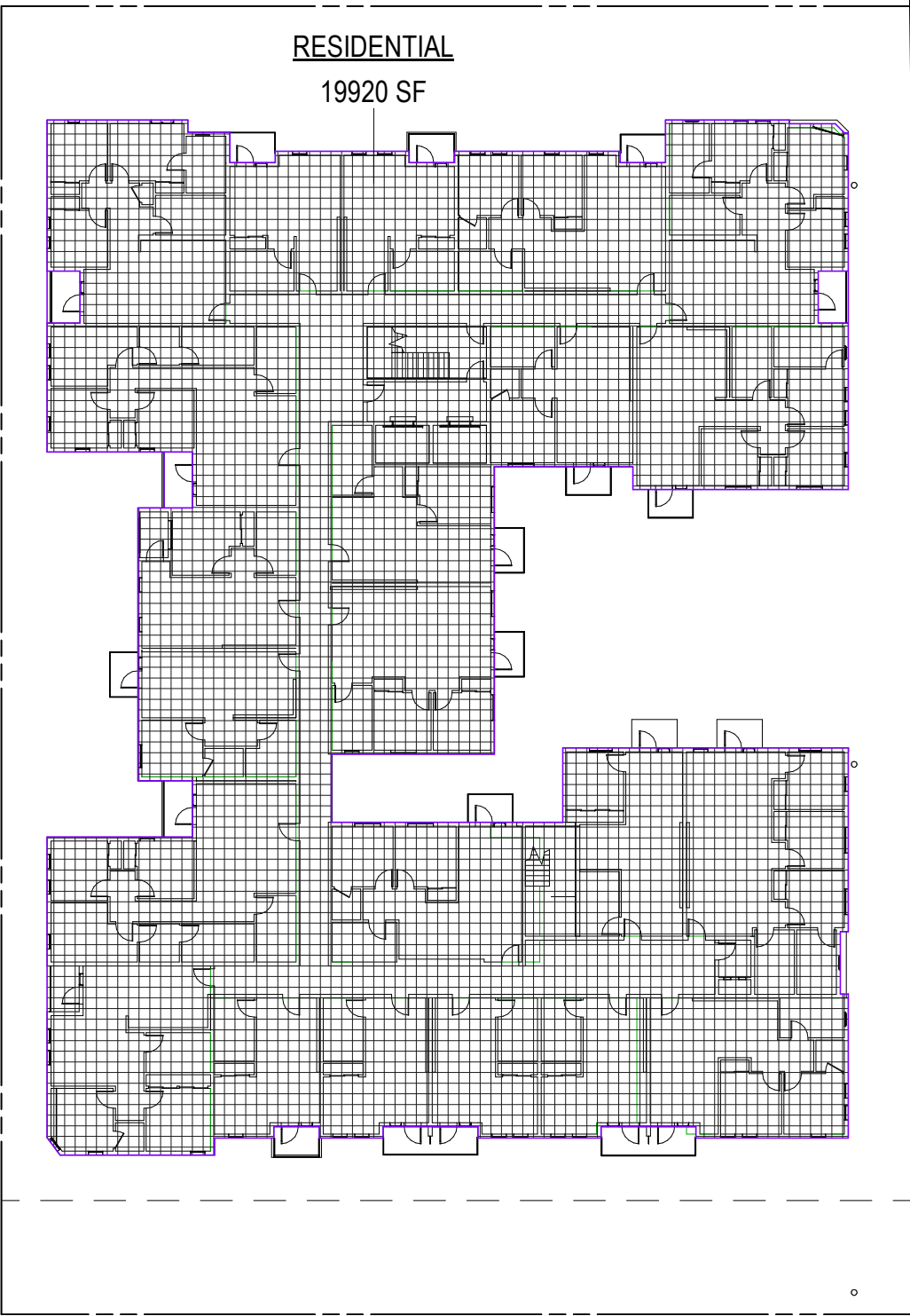
1ST FLOOR FAR PLAN



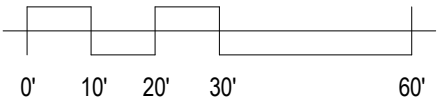


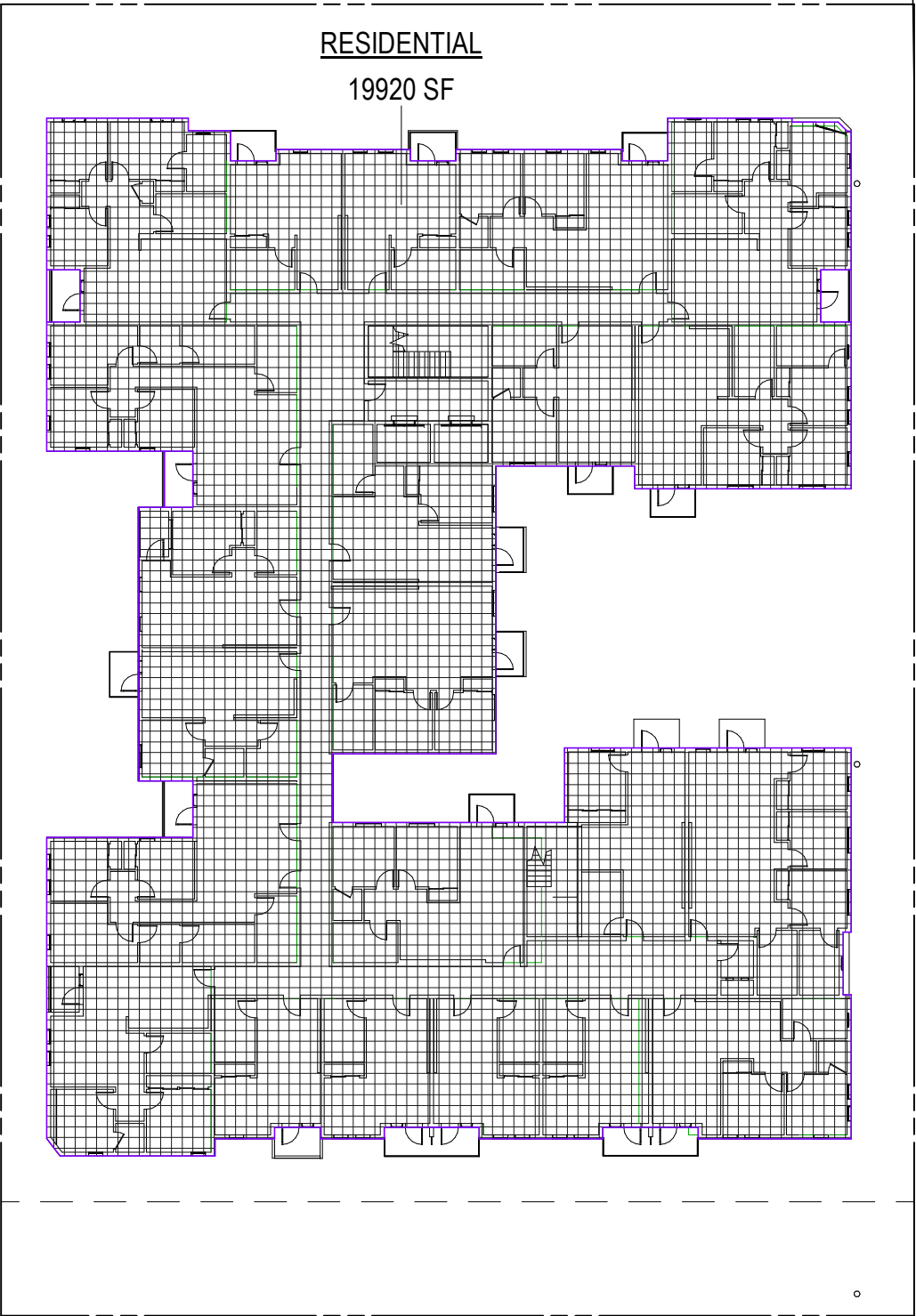
 RESIDENTIAL


2ND FLOOR FAR PLAN



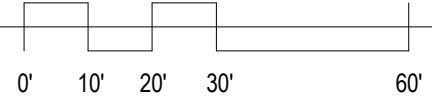
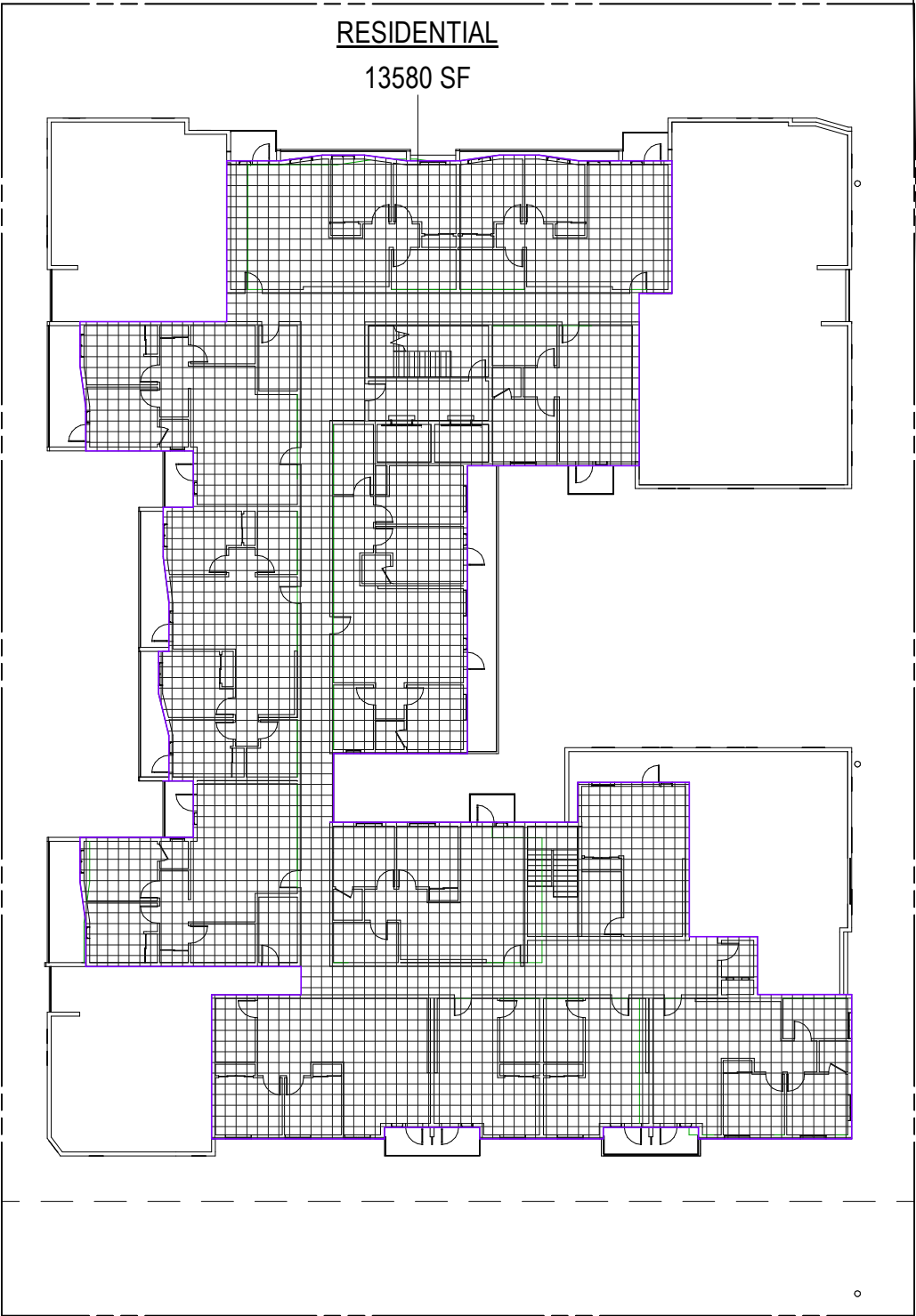
3RD FLOOR FAR PLAN





 RESIDENTIAL

**4TH FLOOR FAR PLAN**



**5TH FLOOR FAR PLAN**

NEIGHBORING SITE:  
920 E BROADWAY

PROJECT SITE:  
900 E BROADWAY

**DESIGN CRITERIA**

The following design criteria has been incorporated to address the neighboring historic structures, the surrounding context, and specific requests from the City of Glendale:

- 1. Pedestrian Paseo**  
The portion of existing alley located between 900 & 920 E Broadway will be vacated and converted to a public pedestrian paseo. This space will serve as the connecting element between the neighboring developments. A direct connection to project courtyards at the ground level will activate the space, and provide a connection to the surrounding community.
- 2. Site Massing**  
In an effort to address neighboring context and building heights, roof decks have been placed at corner locations and the top floor has been recessed in order to minimize the visual mass of the building.
- 3. Usable Open Space**  
Multiple types of open space have been incorporated, including a central courtyard with kid's play area, pedestrian paseo, landscaped yard space, and roof decks.
- 5. Vehicular Access**  
All vehicular access and trash collection has been located off of the new 20' alley at the projects southern property line.
- 6. Neighboring Historic Structures**  
Multiple design moves have been incorporated to respect the neighboring historic structures (920 E Broadway), including stepped-down building heights, a sense of symmetry at Broadway & Cedar facades, architectural style, and a neutral material palette that compliments the existing structures.
- 7. Street Connectivity**  
Connectivity has been achieved by providing stoops at ground floor units along Cedar st, locating the courtyard adjacent to the new pedestrian paseo, and locating the common/service spaces along the ground floor E Broadway frontage.

PEDESTRIAN PASEO  
(VACATED ALLEY)

COURTYARD

ROOF DECKS AT  
CORNER LOCATIONS

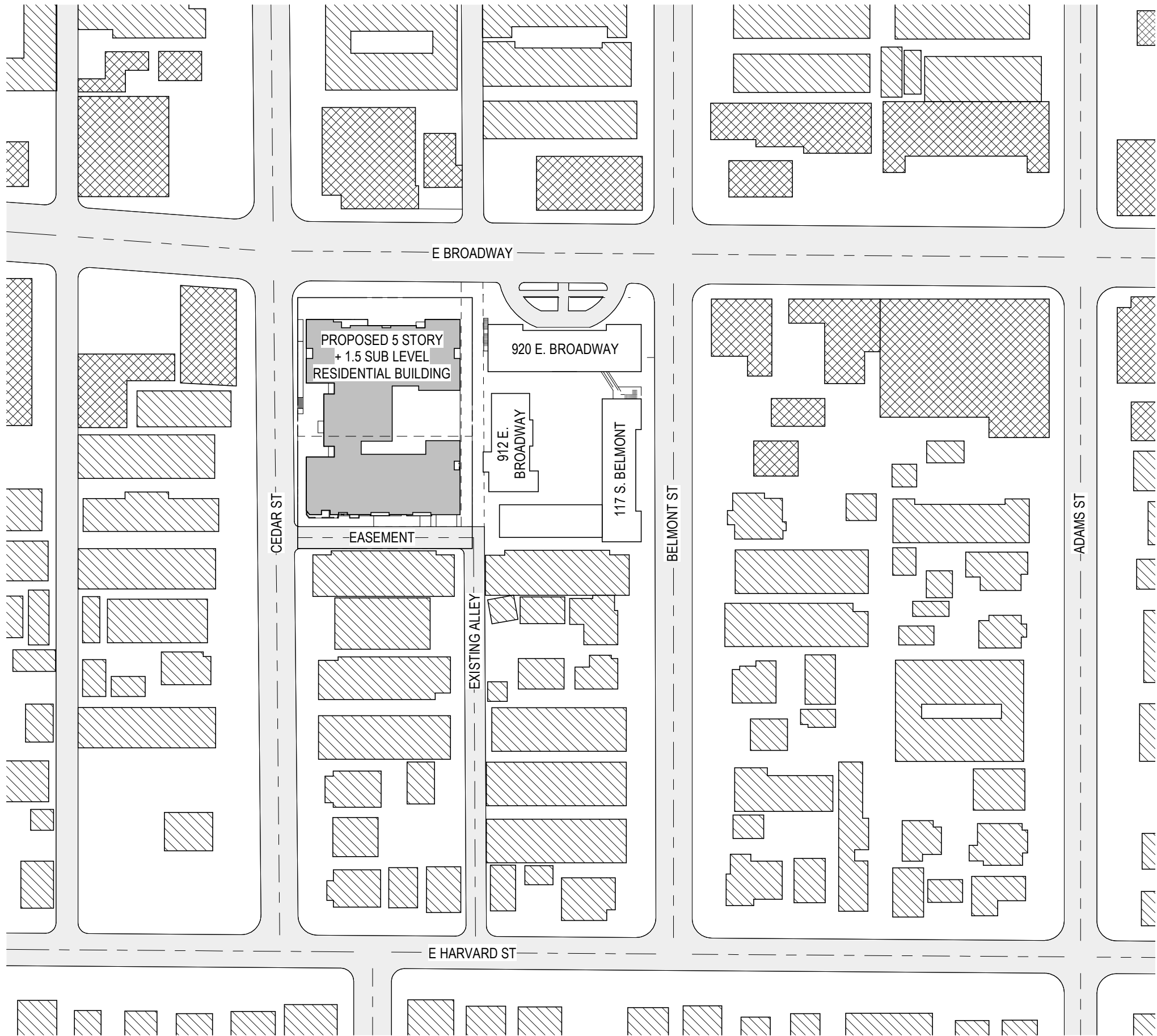
RECESSED UPPER  
FLOOR LEVEL

MAIN ENTRY

SEE LANDSCAPE  
SHEETS, TYP

DIRECT UNIT  
ACCESS TO  
EXTERIOR

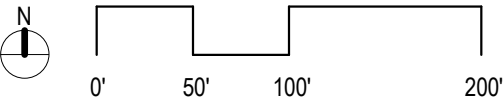
NEW ALLEY  
(VEHICULAR ACCESS)



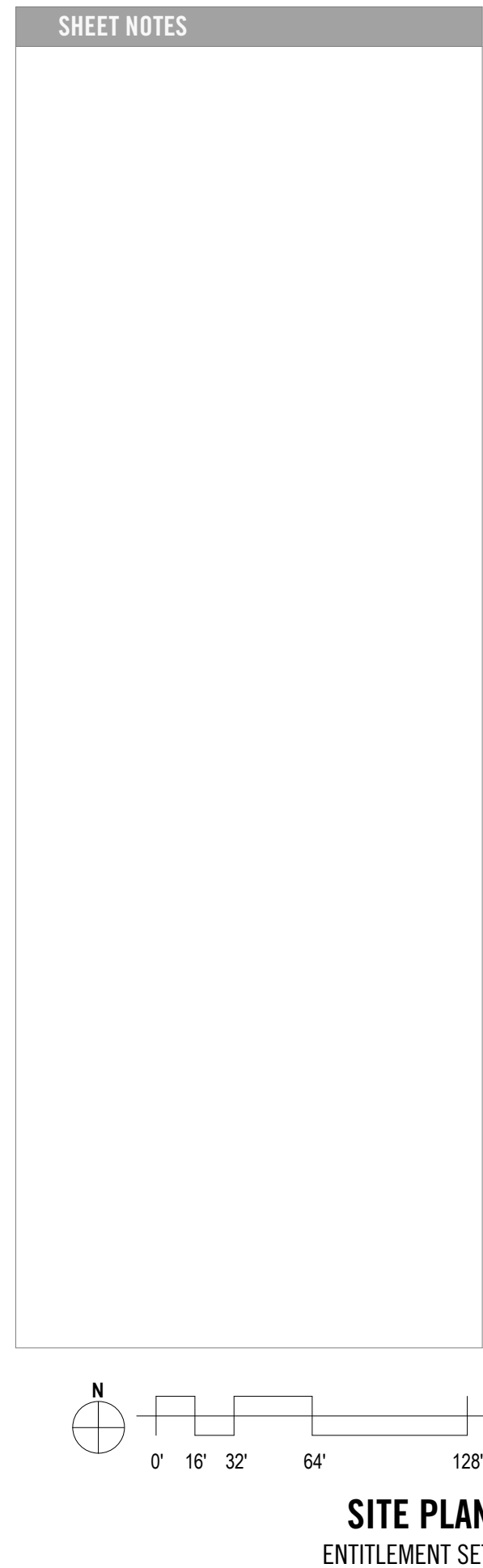
SHEET NOTES

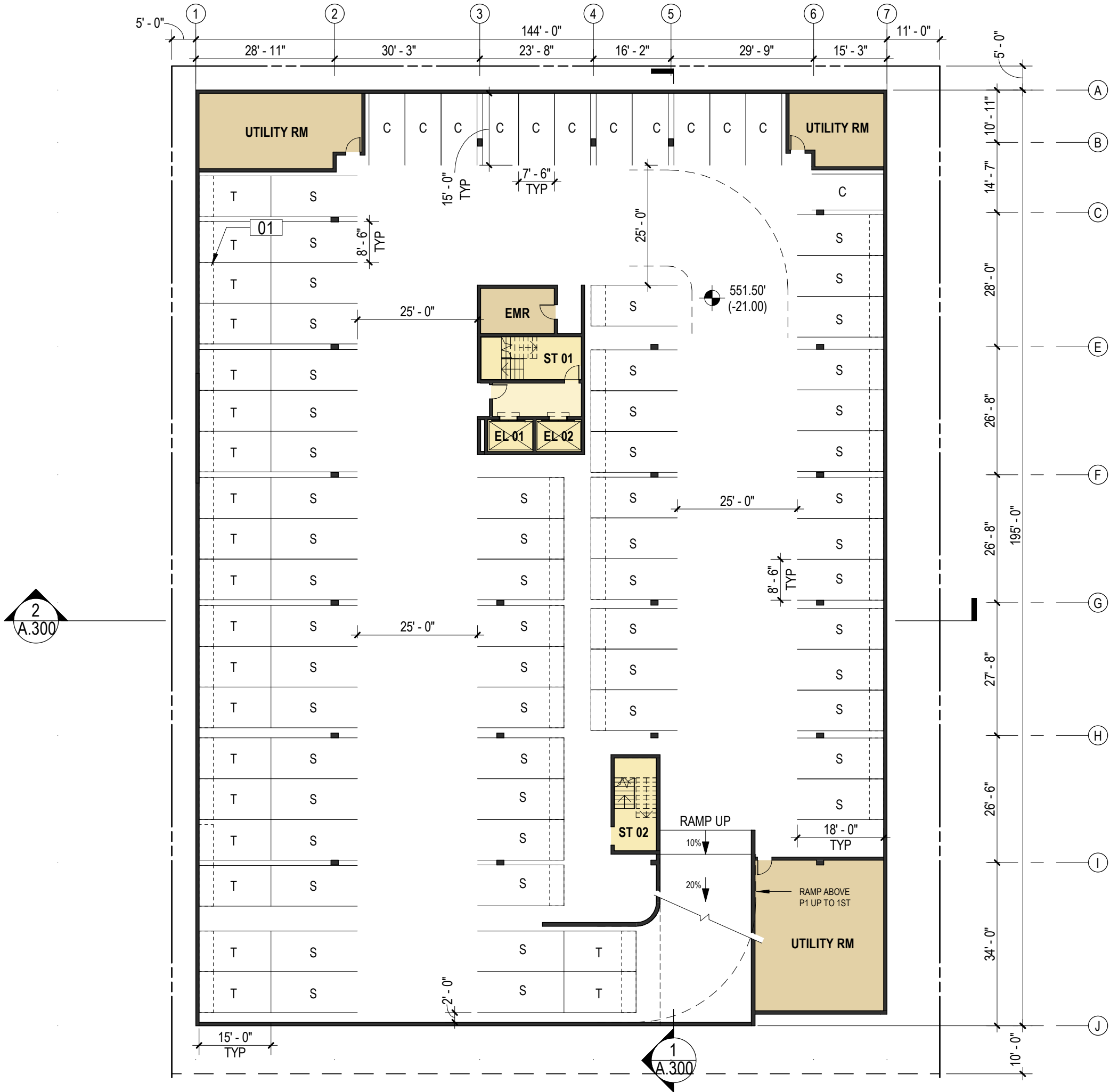
LEGEND

	RESIDENTIAL
	COMMERCIAL
	(E) BLDG ON SITE
	NEW BUILDING



CONTEXT PLAN  
ENTITLEMENT SET





SHEET NOTES

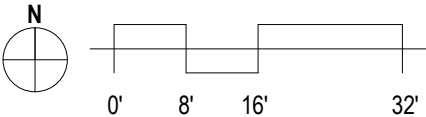
01 8'-6"x3'-0"x3'-6"h STORAGE SPACE TYP

PARKING COUNT - LEVEL P2

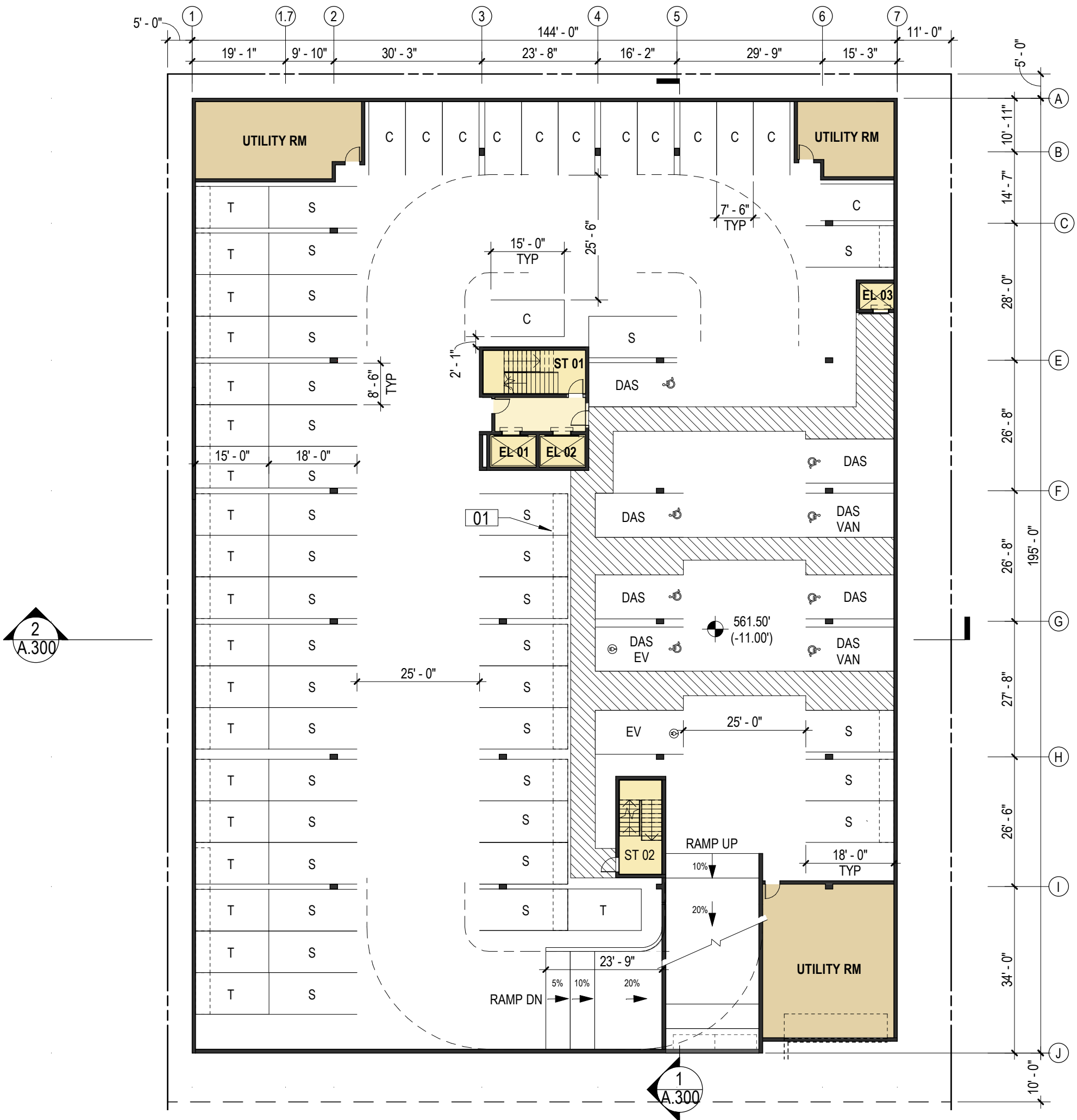
STANDARD	55
COMPACT	12
ACCESSIBLE	0
TANDEM	21
GRAND TOTAL	88

COLOR LEGEND

- RESIDENTIAL
- AMENITY
- UTILITY STORAGE
- CIRCULATION
- PARKING



LEVEL P2 PLAN  
ENTITLEMENT SET



### SHEET NOTES

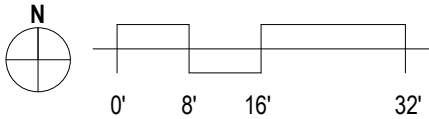
01 8'6"x3'hx3'6" STORAGE SPACE TYP

### PARKING COUNT - LEVEL P1

STANDARD	34
COMPACT	13
ACCESSIBLE	8
TANDEM	20
GRAND TOTAL	75

### COLOR LEGEND

RESIDENTIAL
AMENITY
UTILITY STORAGE
CIRCULATION
PARKING



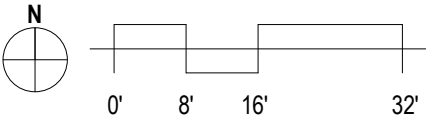
LEVEL P1 PLAN  
ENTITLEMENT SET

SHEET NOTES

- 01 GROUND FLOOR UNITS WITH DIRECT OUTSIDE ACCESS
- 02 3,000A 120/208v, 3-PHASE TRANSFORMER REQUIREMENT (ESTIMATED)
- 03 LINE OF PARKING BELOW

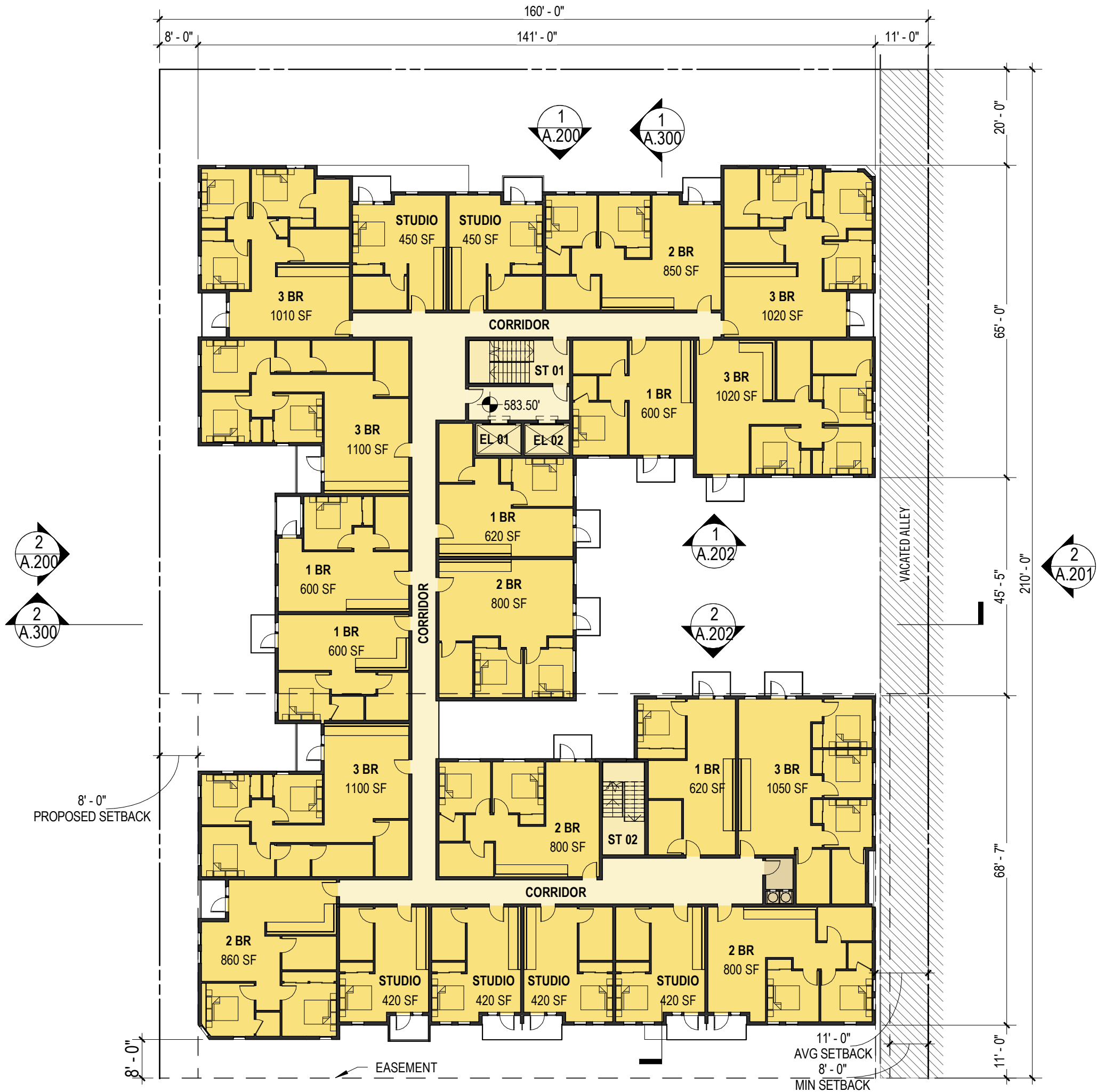
COLOR LEGEND

- RESIDENTIAL
- AMENITY
- UTILITY STORAGE
- CIRCULATION
- PARKING



FIRST FLOOR PLAN  
ENTITLEMENT SET

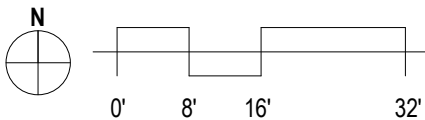




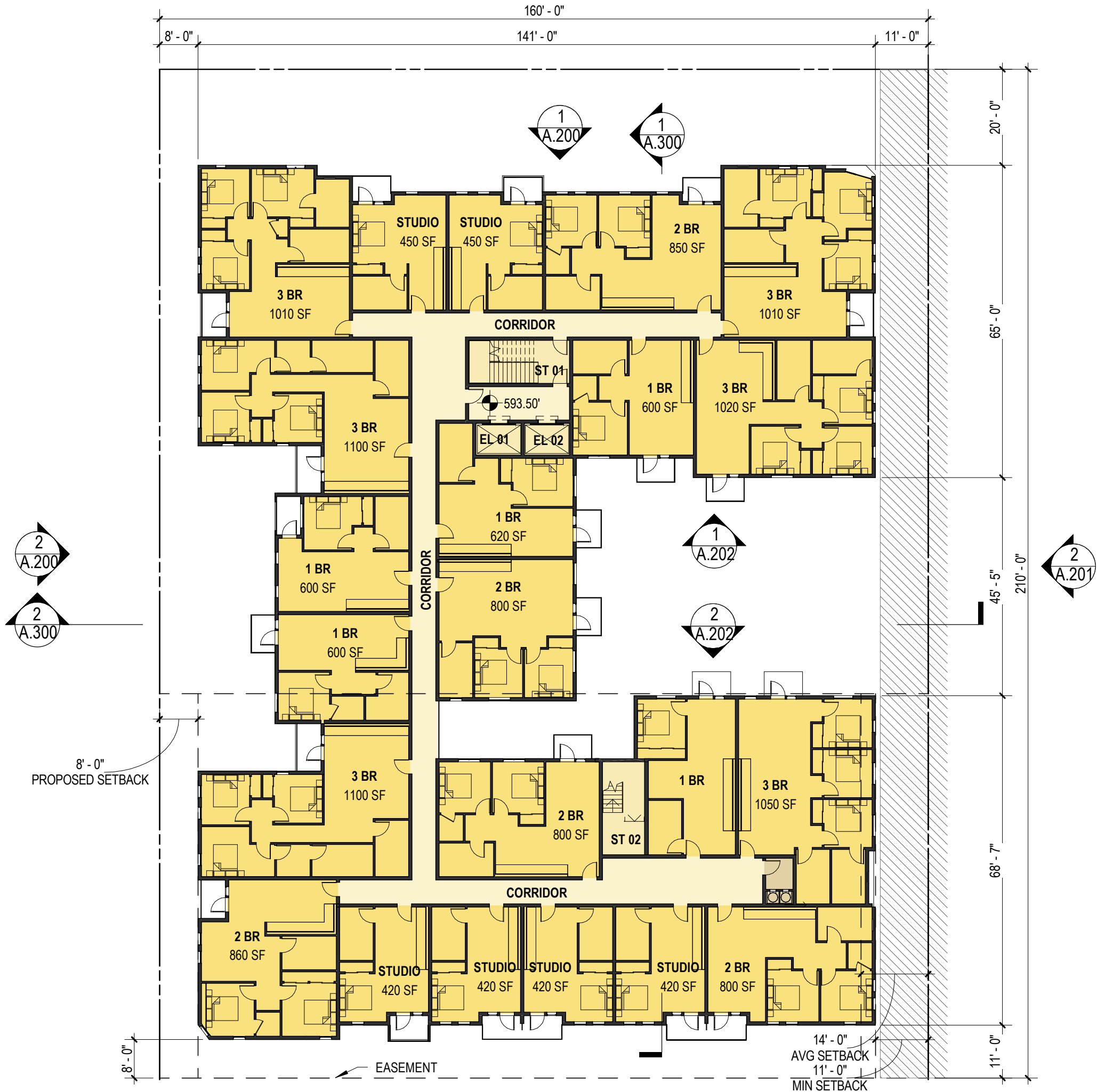
SHEET NOTES

COLOR LEGEND

- RESIDENTIAL
- AMENITY
- UTILITY STORAGE
- CIRCULATION
- PARKING



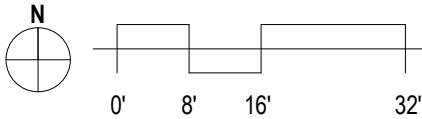
SECOND FLOOR PLAN  
ENTITLEMENT SET



SHEET NOTES

COLOR LEGEND

- RESIDENTIAL
- AMENITY
- UTILITY STORAGE
- CIRCULATION
- PARKING



THIRD AND FOURTH FLOOR PLAN  
ENTITLEMENT SET

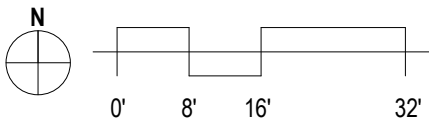


SHEET NOTES

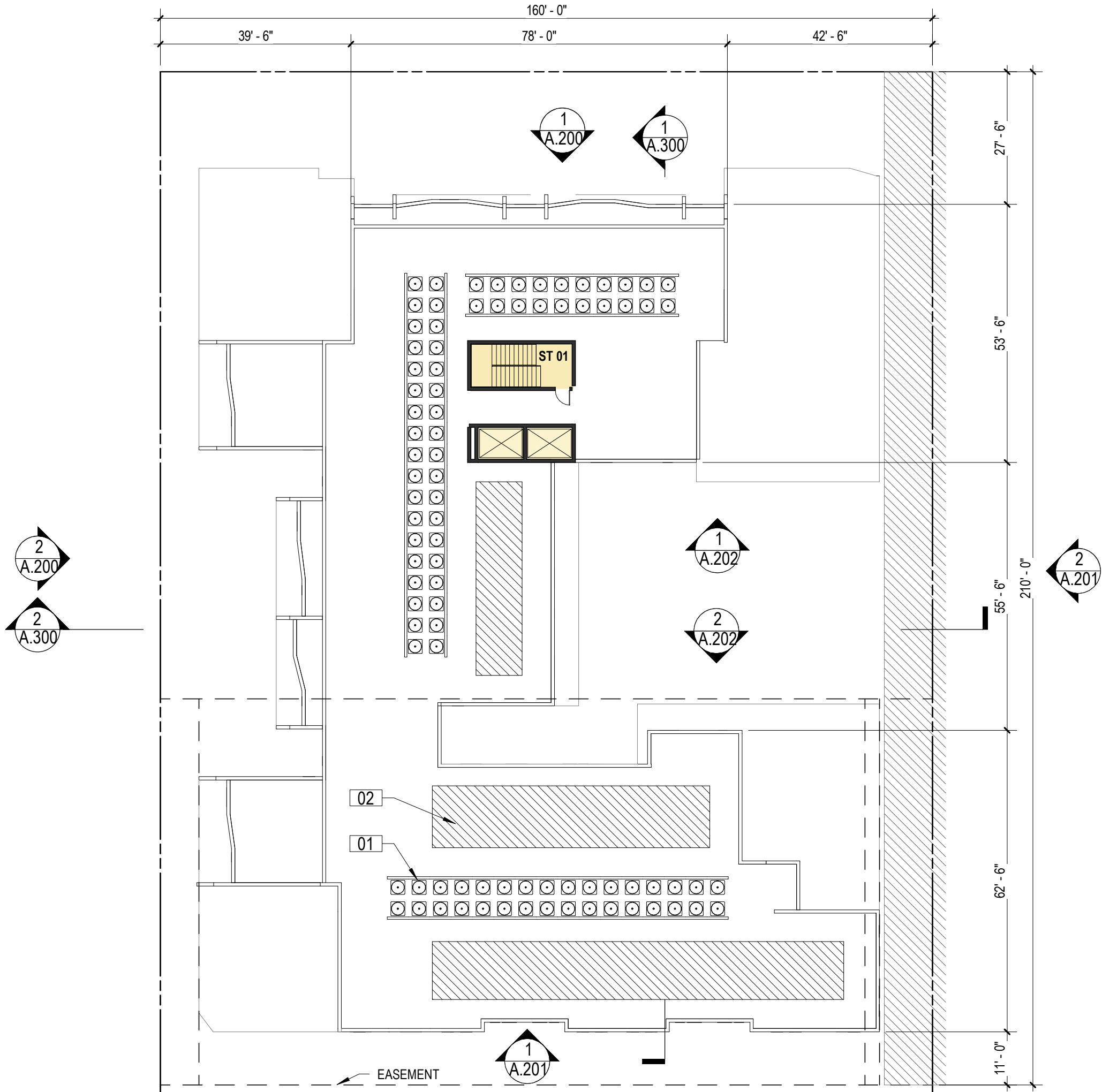
01 SEE LANDSCAPE PLAN TYP

COLOR LEGEND

- RESIDENTIAL
- AMENITY
- UTILITY STORAGE
- CIRCULATION
- PARKING



FIFTH FLOOR PLAN  
ENTITLEMENT SET

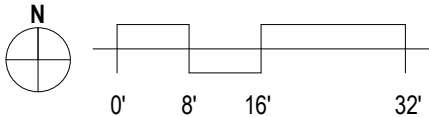


SHEET NOTES

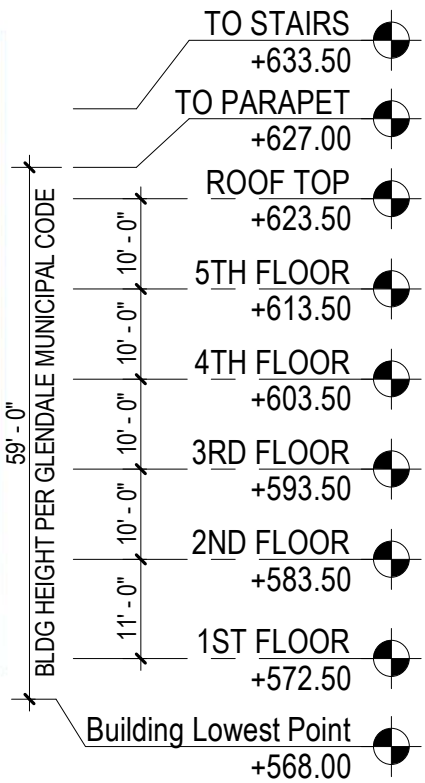
- 01 MECHANICAL EQUIPMENT TO BE SCREENED, TYP
- 02 SOLAR ZONE, 15% OF ROOF AREA

COLOR LEGEND

- RESIDENTIAL
- AMENITY
- UTILITY STORAGE
- CIRCULATION
- PARKING

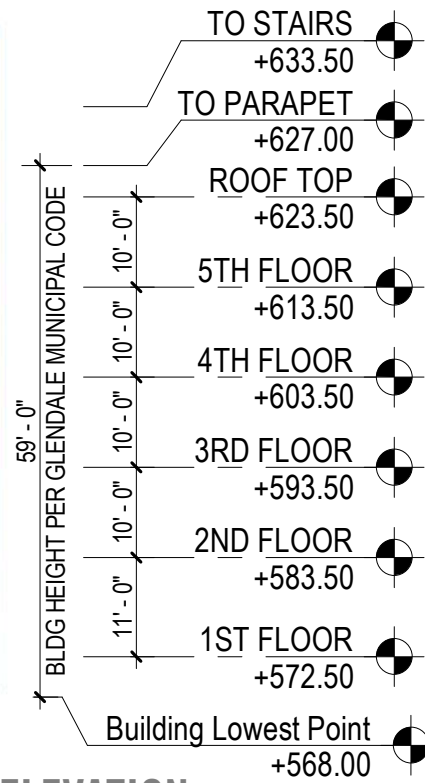


ROOF PLAN  
ENTITLEMENT SET

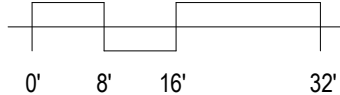


MATERIAL LEGEND	
SEE SHEET A313 - MATERIAL BOARD	
PL-1	EXTERIOR CEMENT PLASTER PAINTED SW 7042, OR SIM
PL-2	EXTERIOR CEMENT PLASTER PAINTED SW 6090, OR SIM
SM-1	STANDING SEAM METAL PANELS PAINTED SW 6088, OR SIM
MV-1	BRICK VENEER ALASKA WHITE VELOUR, OR SIM
MTL-1	SHEET METAL FLASHING CAP PAINTED SW 6090, OR SIM
MTL-2	METAL RAILINGS, TYP PAINTED SW 6090, OR SIM
MTL-3	ANODIZED ALUMINUM STOREFRONT PAINTED SW 6090, OR SIM
VW-1	VINYL WINDOWS, TYP WHITE

E BROADWAY (NORTH) ELEVATION



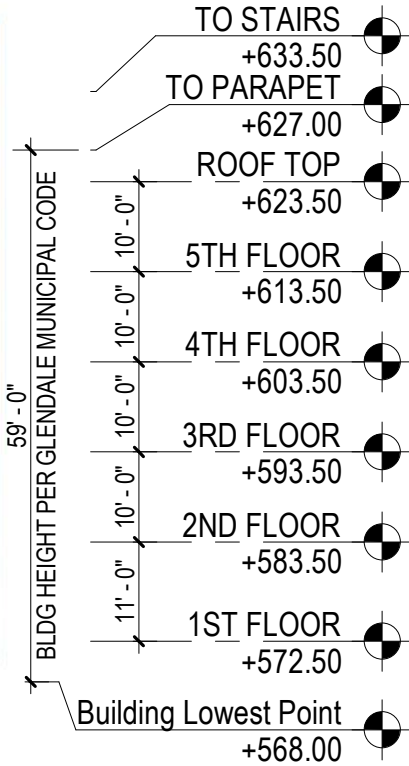
CEDAR (WEST) ELEVATION





GARAGE DOOR  
TRASH DOOR

ALLEY (SOUTH) ELEVATION



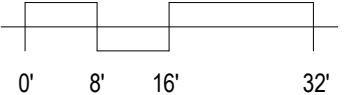
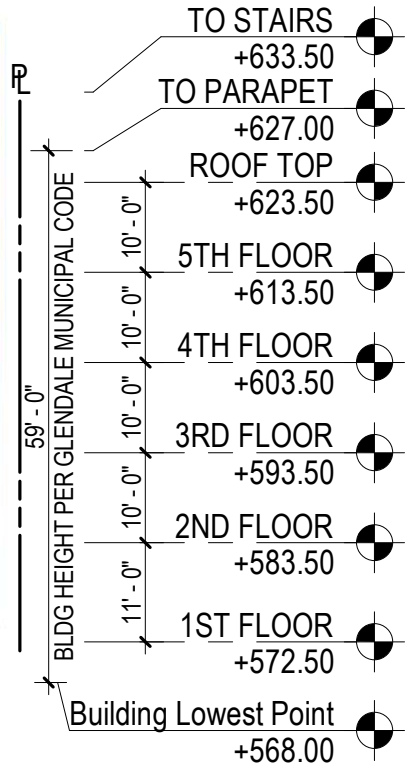
MATERIAL LEGEND

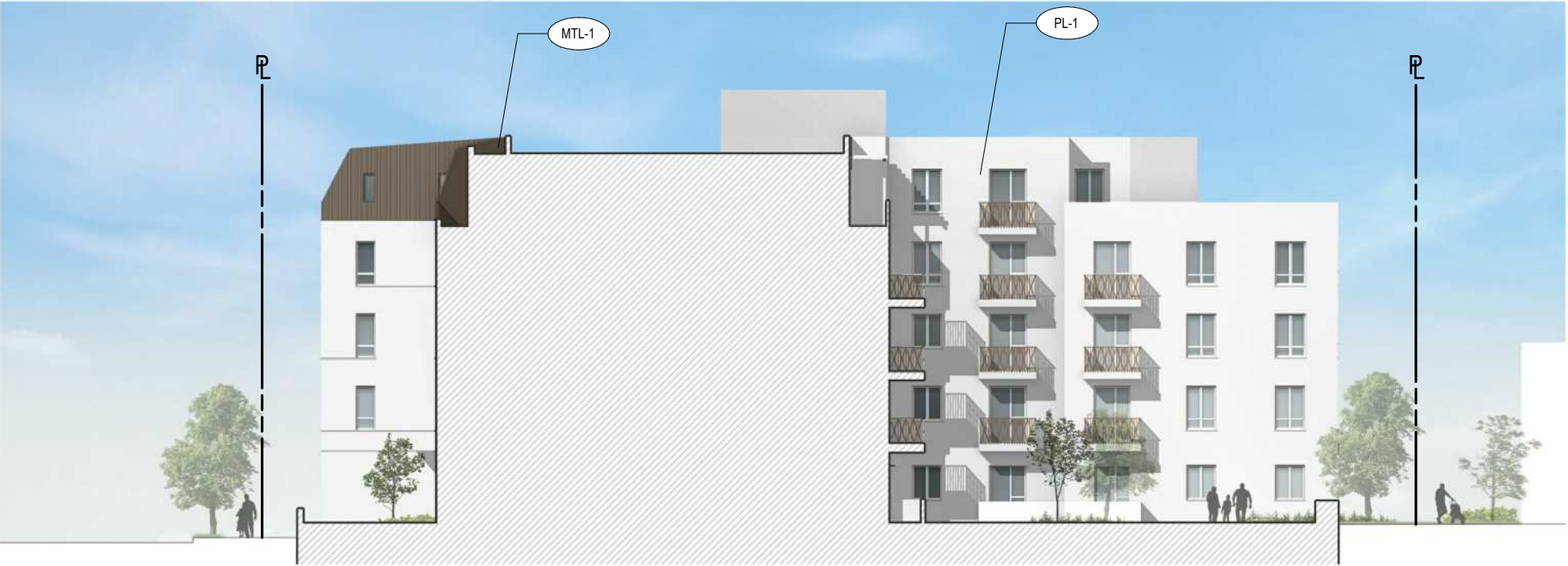
SEE SHEET A313 - MATERIAL BOARD

- PL-1 EXTERIOR CEMENT PLASTER  
PAINTED SW 7042, OR SIM
- PL-2 EXTERIOR CEMENT PLASTER  
PAINTED SW 6090, OR SIM
- SM-1 STANDING SEAM METAL PANELS  
PAINTED SW 6088, OR SIM
- MV-1 BRICK VENEER  
ALASKA WHITE VELOUR, OR SIM
- MTL-1 SHEET METAL FLASHING CAP  
PAINTED SW 6090, OR SIM
- MTL-2 METAL RAILINGS, TYP  
PAINTED SW 6090, OR SIM
- MTL-3 ANODIZED ALUMINUM STOREFRONT  
PAINTED SW 6090, OR SIM
- VW-1 VINYL WINDOWS, TYP  
WHITE

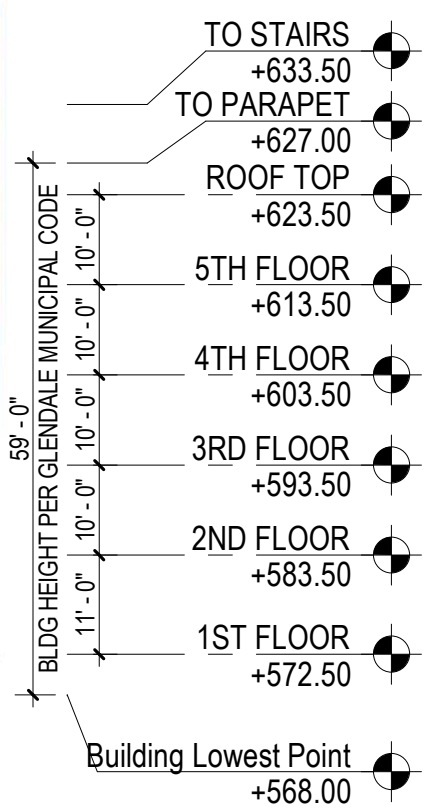


INTERIOR (EAST) ELEVATION





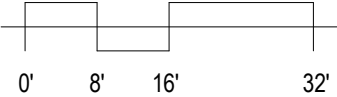
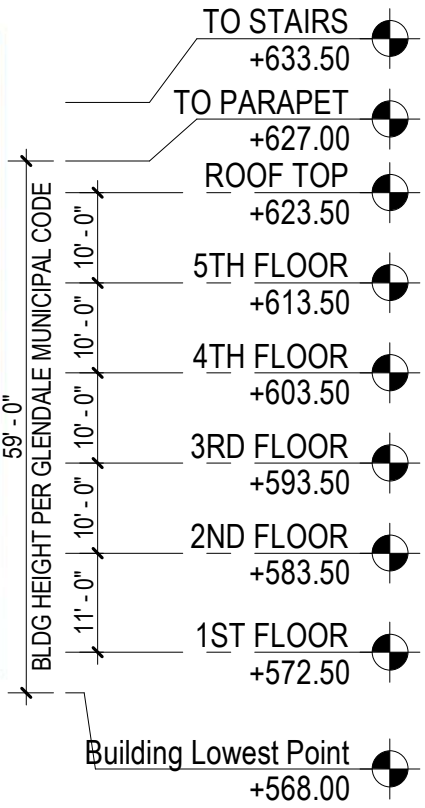
COURTYARD ELEVATION - SOUTH

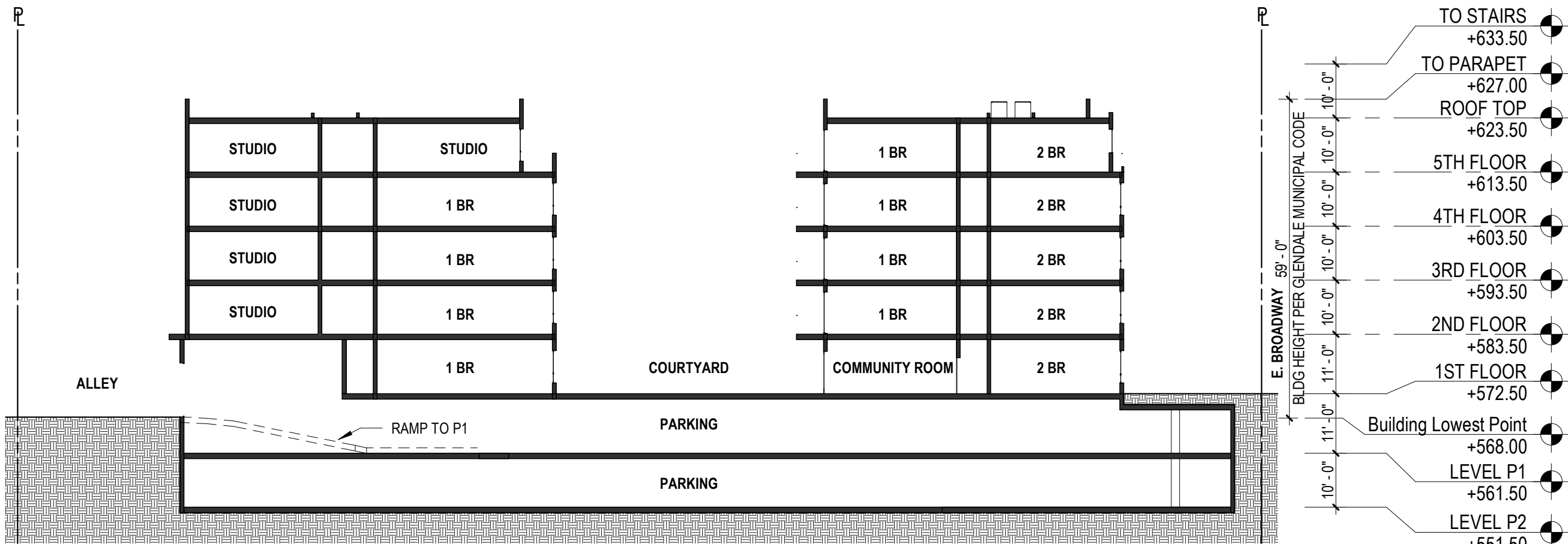


MATERIAL LEGEND	
SEE SHEET A313 - MATERIAL BOARD	
PL-1	EXTERIOR CEMENT PLASTER PAINTED SW 7042, OR SIM
PL-2	EXTERIOR CEMENT PLASTER PAINTED SW 6090, OR SIM
SM-1	STANDING SEAM METAL PANELS PAINTED SW 6088, OR SIM
MV-1	BRICK VENEER ALASKA WHITE VELOUR, OR SIM
MTL-1	SHEET METAL FLASHING CAP PAINTED SW 6090, OR SIM
MTL-2	METAL RAILINGS, TYP PAINTED SW 6090, OR SIM
MTL-3	ANODIZED ALUMINUM STOREFRONT PAINTED SW 6090, OR SIM
VW-1	VINYL WINDOWS, TYP WHITE

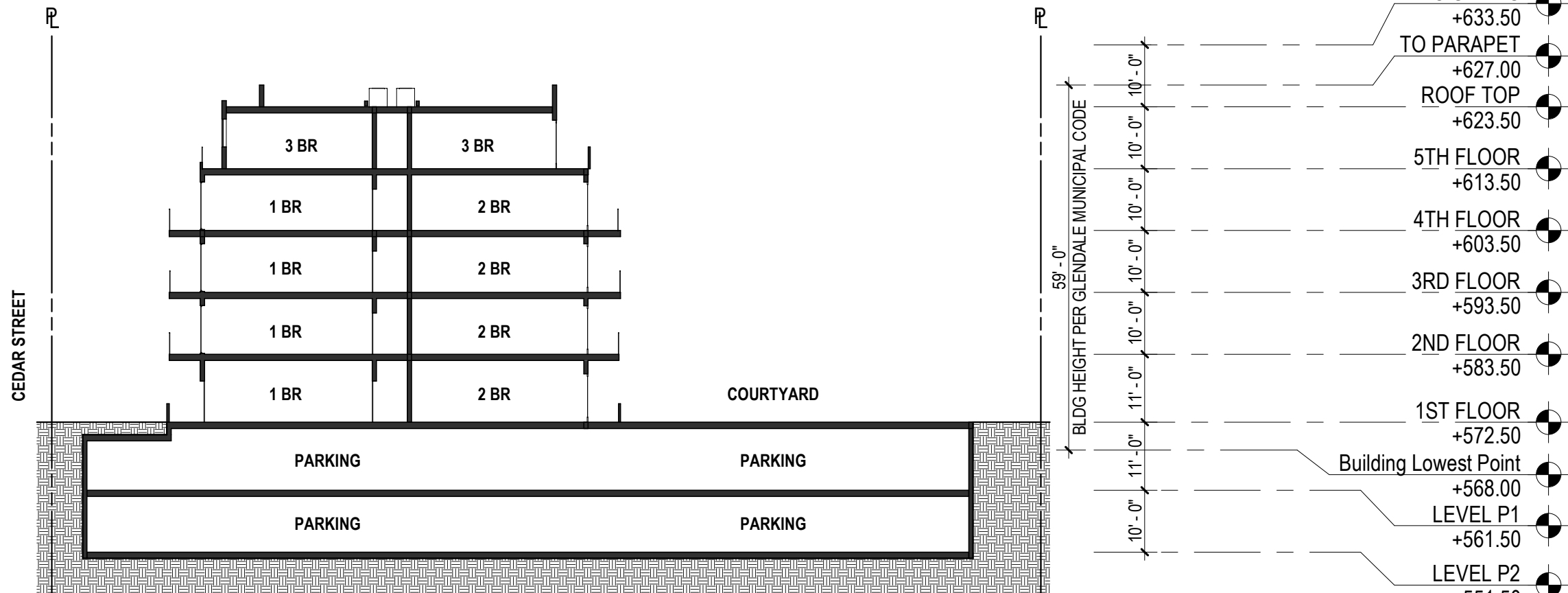


COURTYARD ELEVATION - NORTH

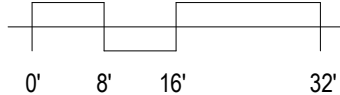




LONGITUDINAL SECTION



TRANSVERSE SECTION





VIEW FROM E BROADWAY

**RENDERING**  
ENTITLEMENT SET



VIEW FROM CEDAR STREET

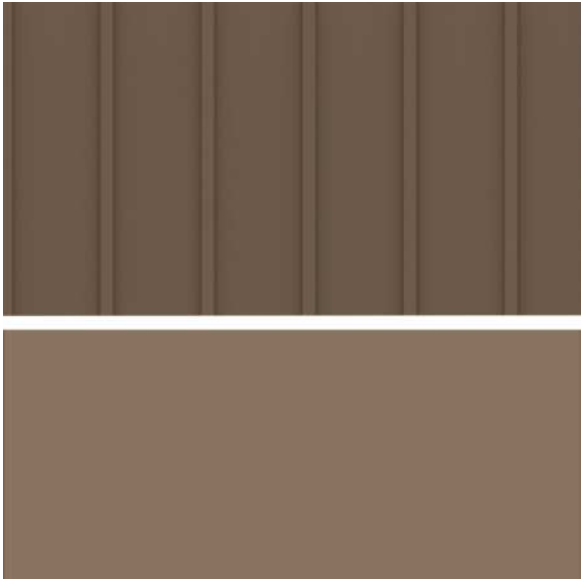


VIEW FROM E BROADWAY INTO VACATED ALLEY

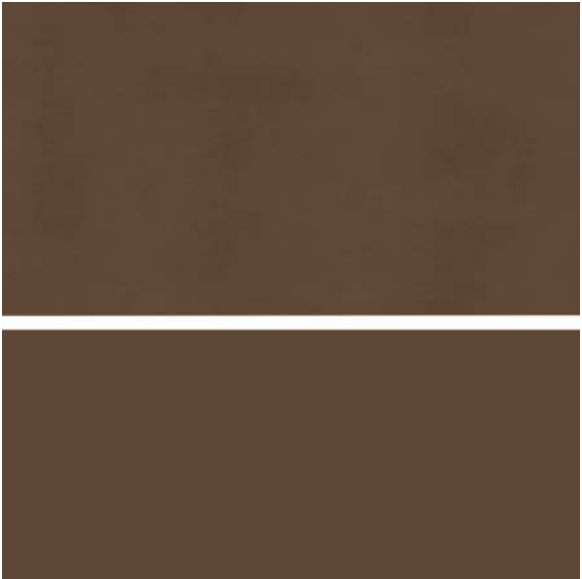
**RENDERING**  
ENTITLEMENT SET



PL-1 EXTERIOR CEMENT PLASTER, 20/30 SAND FINISH, PAINTED SHOJI WHITE SW 7042, OR SIM



SM-1 STANDING SEAM METAL PANELS PAINTED SW 6088, OR SIM



MTL-1 SHEET METAL FLASHING CAP PAINTED SW 6090, OR SIM

MTL-2 METAL RAILINGS, TYP PAINTED SW 6090, OR SIM

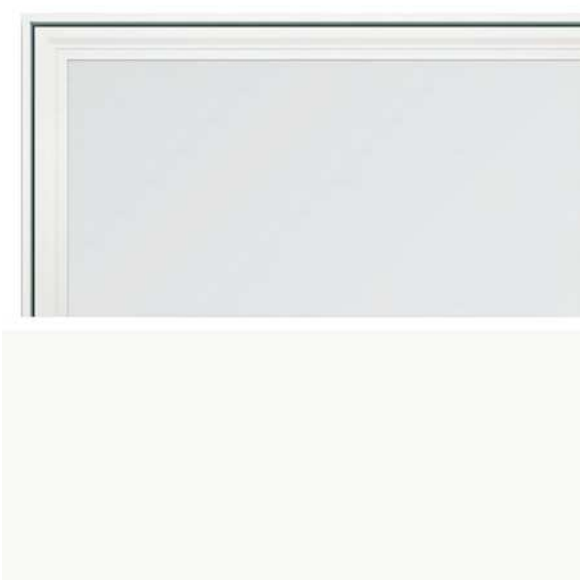
MTL-3 ANODIZED ALUMINUM STOREFRONT PAINTED SW 6090, OR SIM



PL-2 EXTERIOR CEMENT PLASTER, 20/30 SAND FINISH, PAINTED JAVA SW 6090, OR SIM



MV-1 BRICK VENEER ALASKA WHITE VELOUR, OR SIM

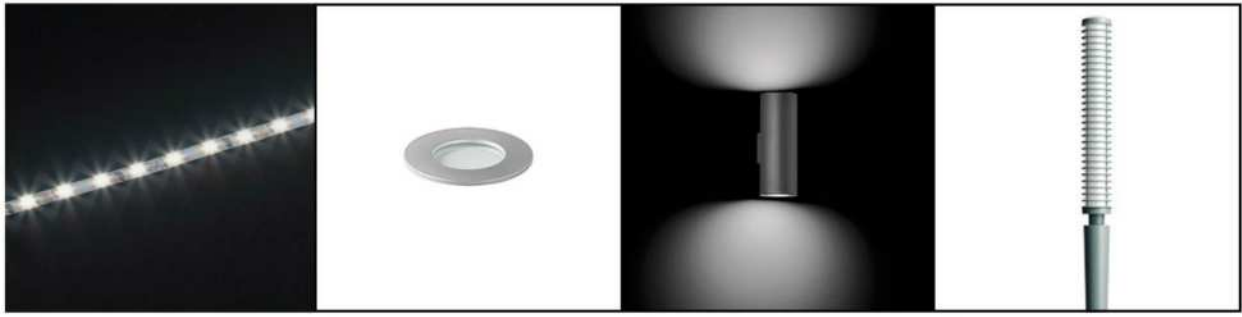


VW-1 VINYL WINDOWS, TYP WHITE



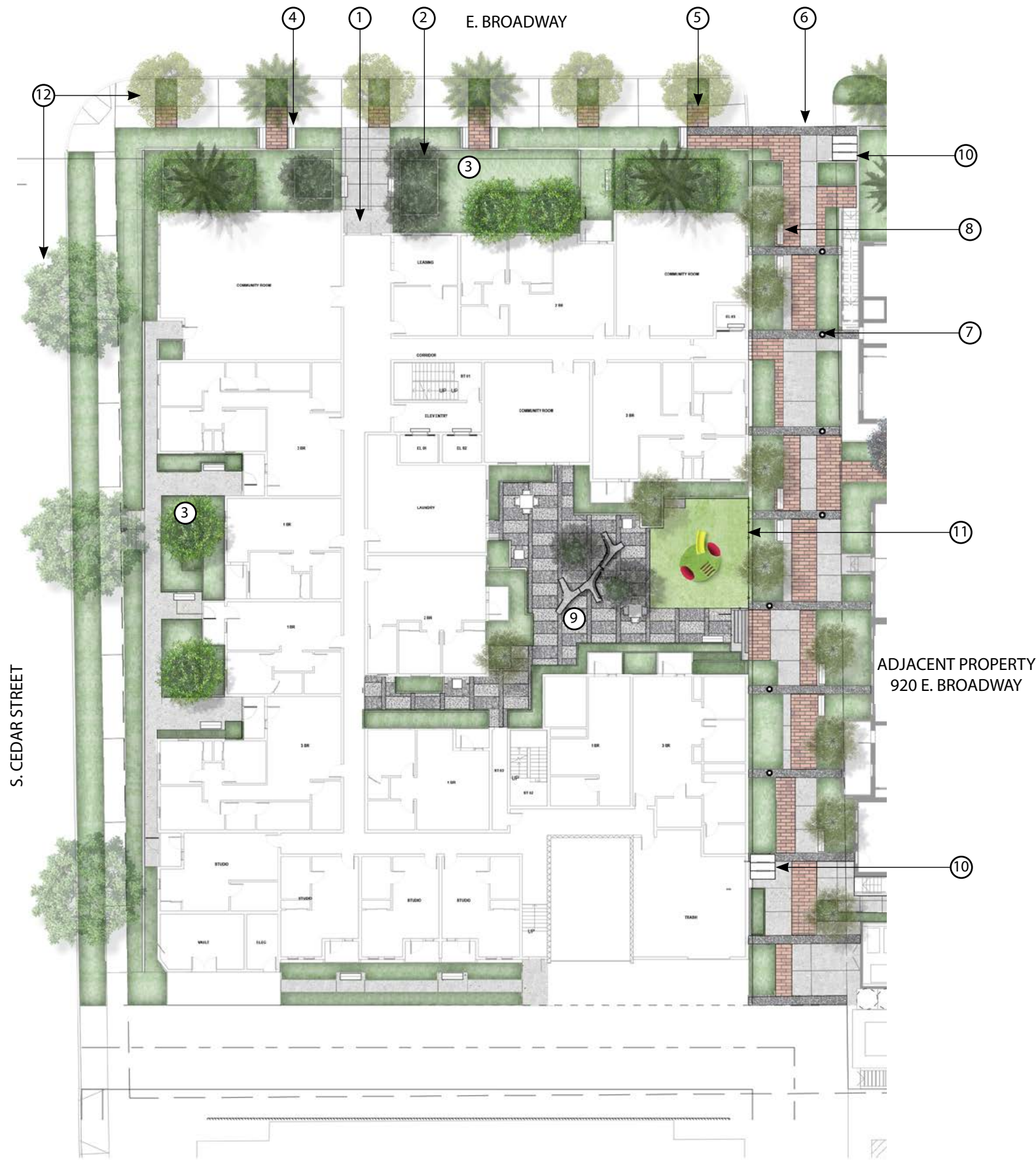
① LED LIGHTSTRIP    ② INGROUND UPLIGHT    ③ WALL SCONCE

VIEW FROM E BROADWAY







- ① LED LIGHTSTRIP
- ② INGROUND UPLIGHT
- ③ WALL SCNCE
- ④ POLE LIGHT

VIEW FROM E BROADWAY INTO VACATED ALLEY



TREE LEGEND

-  *Lagerstoemia indica 'Natchez'*  
**NATCHTEZ CRAPE MYRTLE**
-  *Liriodendron tulipifera 'Arnold'*  
**ARNOLD TULIP TREE**
-  *Pyrus kawakamii*  
**EVERGREEN PEAR**
-  *Phoenix canariensis*  
**CANARY ISLAND DATE PALM**

SHEET NOTES

LEGEND

900 E. BROADWAY

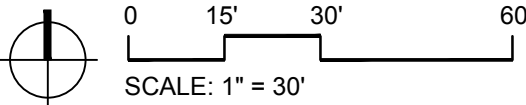
- ① MAIN ENTRANCE
- ② RAISED PLANTER
- ③ PLANTING AREA, TYP.
- ④ ENHANCED SIDEWALK PAVING WITH PUBLIC BENCHES
- ⑤ BRICK PAVING
- ⑥ ALLEY WITH CONCRETE AND BRICK PAVING PANELS
- ⑦ POLE LIGHT
- ⑧ BENCHES WITH LIGHTING
- ⑨ COURTYARD - SEE ENLARGEMENT L.110
- ⑩ BIKE RACKS
- ⑪ DECORATIVE FENCING
- ⑫ EXISTING STREET TREES;

- A. *Brachychiton populneus* **X3**  
KURRAJONG
- B. *Casuarina spp* **X2**
- C. *Jacaranda mimosifolia* **X3**  
JACARANDA
- D. *Handroanthus heptaphyllus* **X1**  
PINK TRUMPET TREE

AREA CALCULATIONS (SF)	
LOT SIZE	36,800
MINIMUM PERCENTAGE OF TOTAL LOT TO BE LANDSCAPED OPEN SPACE (R-2250, R-1250) 9,200 SF REQUIRED	25%
TOTAL LANDSCAPED AREA 1ST FLOOR	8,485
TOTAL LANDSCAPED AREA 5TH FLOOR	756
TOTAL LANDSCAPED AREA	9241
PERCENTAGE LANDSCAPED	25%

LANDSCAPE SHEET INDEX

- L.100 FIRST FLOOR AND ALLEY PLAN
- L.110 COURTYARD ENLARGEMENT
- L.150 FIFTH FLOOR TERRACES
- L.200 SELECT FIRST FLOOR MATERIALS
- L.300 SELECT FIFTH FLOOR MATERIALS
- L.400 SELECT ALLEY MATERIALS
- L.500 PLANTING LEGEND
- L.510 FIRST FLOOR PLANTING PLAN
- L.550 FIFTH FLOOR PLANTING PLAN
- L.600 FIRST FLOOR IRRIGATION PLAN



FIRST FLOOR AND ALLEY PLAN  
STAGE II SUBMITTAL

TREE LEGEND

- 

*Pyrus kawakamii*  
**EVERGREEN PEAR**
- 

*Lagerstroemia indica 'Natchez'*  
**NATCHEZ CRAPE MYRTLE**
- 

**SHRUBS AND GROUND COVER PER SHEET L510**
- 

**SYNTHETIC TURF OVER SHOCK-PAD AT PLAY EQUIPMENT AREA**

SHEET NOTES

- LEGEND**
- 900 E. BROADWAY**
- ① STEPS TO ALLEY WITH PLANTING

② DECORATIVE CONCRETE PAVING

③ PLAY AREA WITH SYNTHETIC TURF MOUND, TUNNEL AND SLIDE

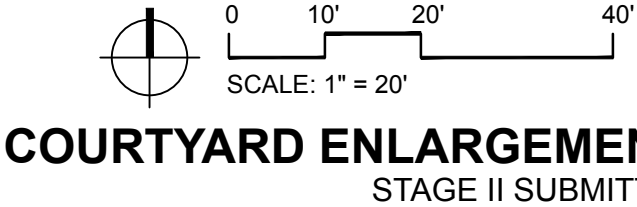
④ TWIG BENCH

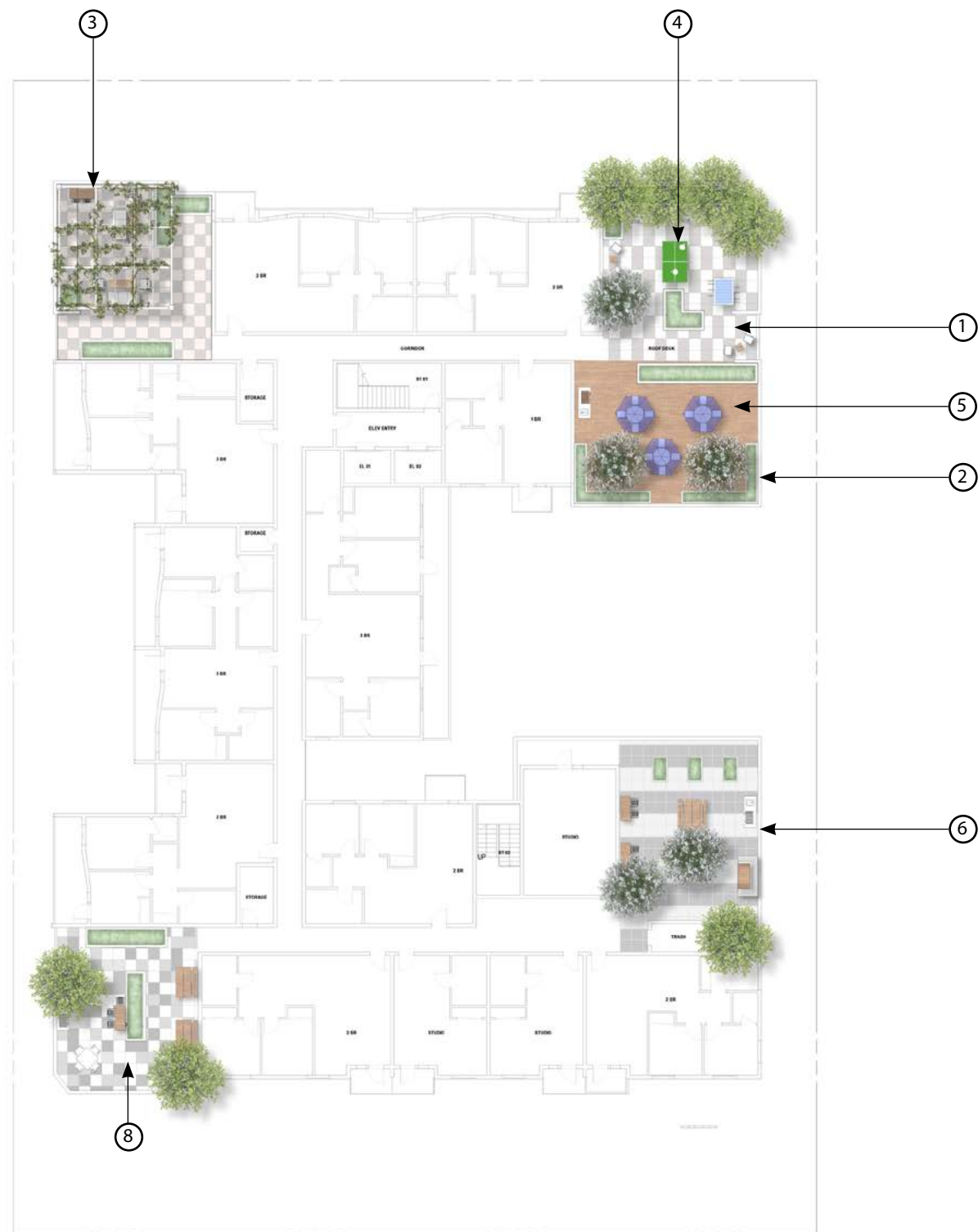
⑤ CAFE TABLES

⑥ BUILT IN BENCH AND PLANTER

⑦ PLANTING IN RAISED PLANTERS, TYP.

⑧ DECORATIVE FENCING





## TREE LEGEND



*Melaleuca linariifolia*  
**FLAXLEAF PAPERBARK**



*Agonis flexuosa*  
**PEPPERMINT TREE**



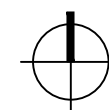
*Citrus sinensis*  
**WASHINGTON NAVEL ORANGE**

## SHEET NOTES

### LEGEND

#### 900 E. BROADWAY

- ① PEDESTAL PAVING SYSTEM, TYP.
- ② RAISED PLANTERS WITH FILLABLE IRRIGATION INSERTS, TYP.
- ③ ARBOR PATIO WITH SEATING
- ④ GAME PATIO WITH FOOSBALL, PING PONG AND GAME TABLE
- ⑤ WOOD PEDESTAL PAVERS
- ⑥ PATIO WITH COMMUNITY GARDEN, BARBECUE, PICNIC TABLE
- ⑦ BARBECUE PATIO
- ⑧ SOUTH PATIO



0 15' 30' 60'  
SCALE: 1" = 30'

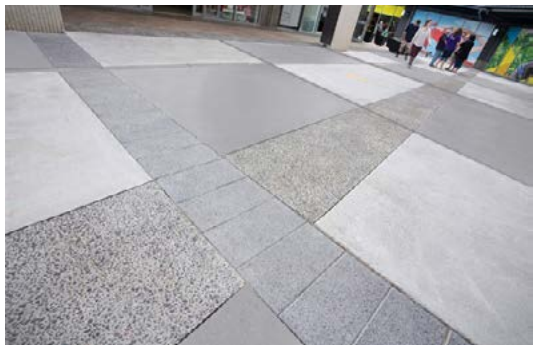
## FIFTH FLOOR TERRACES PLAN STAGE II SUBMITTAL



BUILT-IN BENCH AND PLANTER



TWIG CONCRETE BENCH



PATTERNED CONCRETE PAVEMENT



BENCH SEAT MADE FOR CAST CONCRETE BASE



METAL AND WOOD DINING TABLE AND CHAIRS



PEFORATED METAL CAFE TABLE AND CHAIR



BENCH SEAT MADE FOR CAST CONCRETE BASE



PLAY MOUNT WITH SYNTHETIC TURF



*Phoenix canariensis*  
CANARY ISLAND PALM



*Pyrus kawakamii*  
EVERGREEN PEAR



*Lagerstroemia indica 'Natchez'*  
NATCHEZ CRAPE MYRTLE



*Lagerstroemia indica 'Natches'*  
NATCHEZ CRAPE MYRTLE



*Casuarina glauca 'Cousin It'*  
PROSTRATE SWAMP OAK



*Myrtus communis 'Compacta'*  
DWARF MYRTLE



*Furcraea foetida 'Mediopicta'*  
VARIEGATED FURCRAEA



*Grevillea Moonlight*  
MOONLIGHT GREVILLEA



*Raphiolepis umbellata 'Minor'*  
DWARF YEDDO HAWTHORN



*Buddleia davidii*  
BUTTERFLY BUSH

## SELECT FIRST FLOOR MATERIALS STAGE II SUBMITTAL



Melaleuca linariifolia  
SNOW-IN-SUMMER



Wisteria floribunda 'Alba'  
WHITE JAPANESE WISTERIA



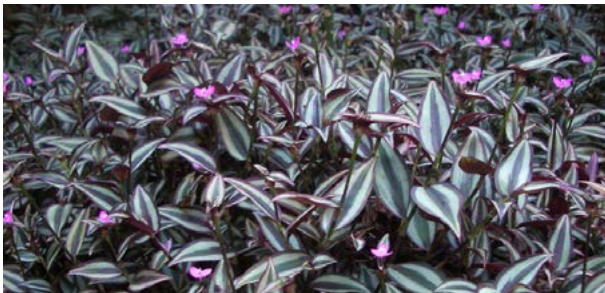
Sansaveria trifasciata  
MOTHER-IN-LAW'S TONGUE



Citrus sp.  
CITRUS



Agonis flexuosa  
PEPPERMINT TREE



Tradescantia zebrina  
INCHPLANT



PEDESTAL PAVING, CONCRETE PAVERS



Muhlenbergia rigens  
DEER GRASS



Yucca filamentosa 'Golden Sword'  
GOLDEN SWORD YUCCA



Beaucarnea recurvata  
PONYTAIL PALM



PEDISTAL PAVING, WOOD PAVERS



OUTDOOR LOUNGE SEATING



CAFE SEATING



GROUP SEATING



BAR HEIGHT TABLE



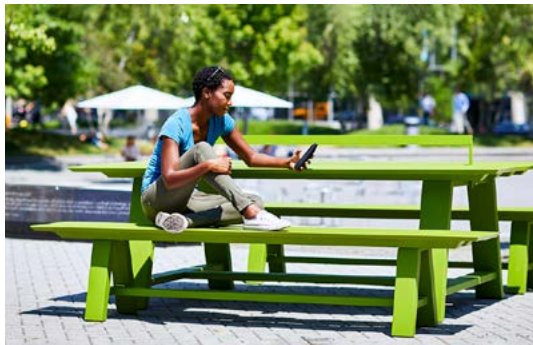
GAME TABLE TBD



GAME TABLE TBD



ADA ACCESSIBLE OUTDOOR GRILL



PICNIC TABLE

## SELECT FIFTH FLOOR MATERIALS

STAGE II SUBMITTAL



ALLEY WITH TREE CANOPY



*Liriodendron tulipifera* 'Arnold'  
ARNOLD TULIP TREE



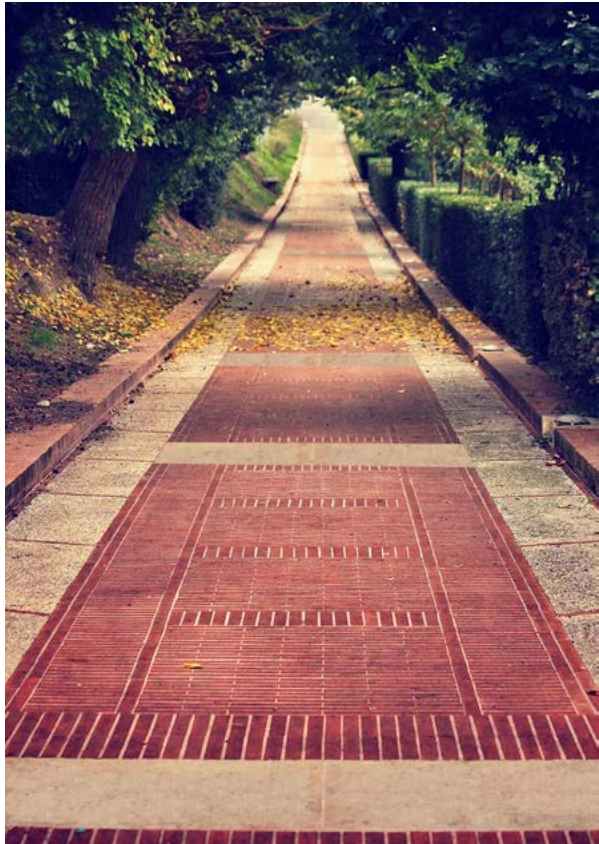
*Buddleia davidii*  
BUTTERFLY BUSH



*Muhlenbergia rigens*  
DEER GRASS



*Cistanthe grandiflora*  
ROCK PURSLANE



BRICK AND CONCRETE PAVING



BENCHES WITH LIGHTING












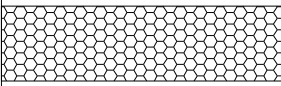
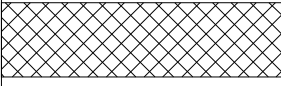
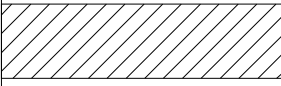
DECORATIVE POLE LIGHTS, TBD



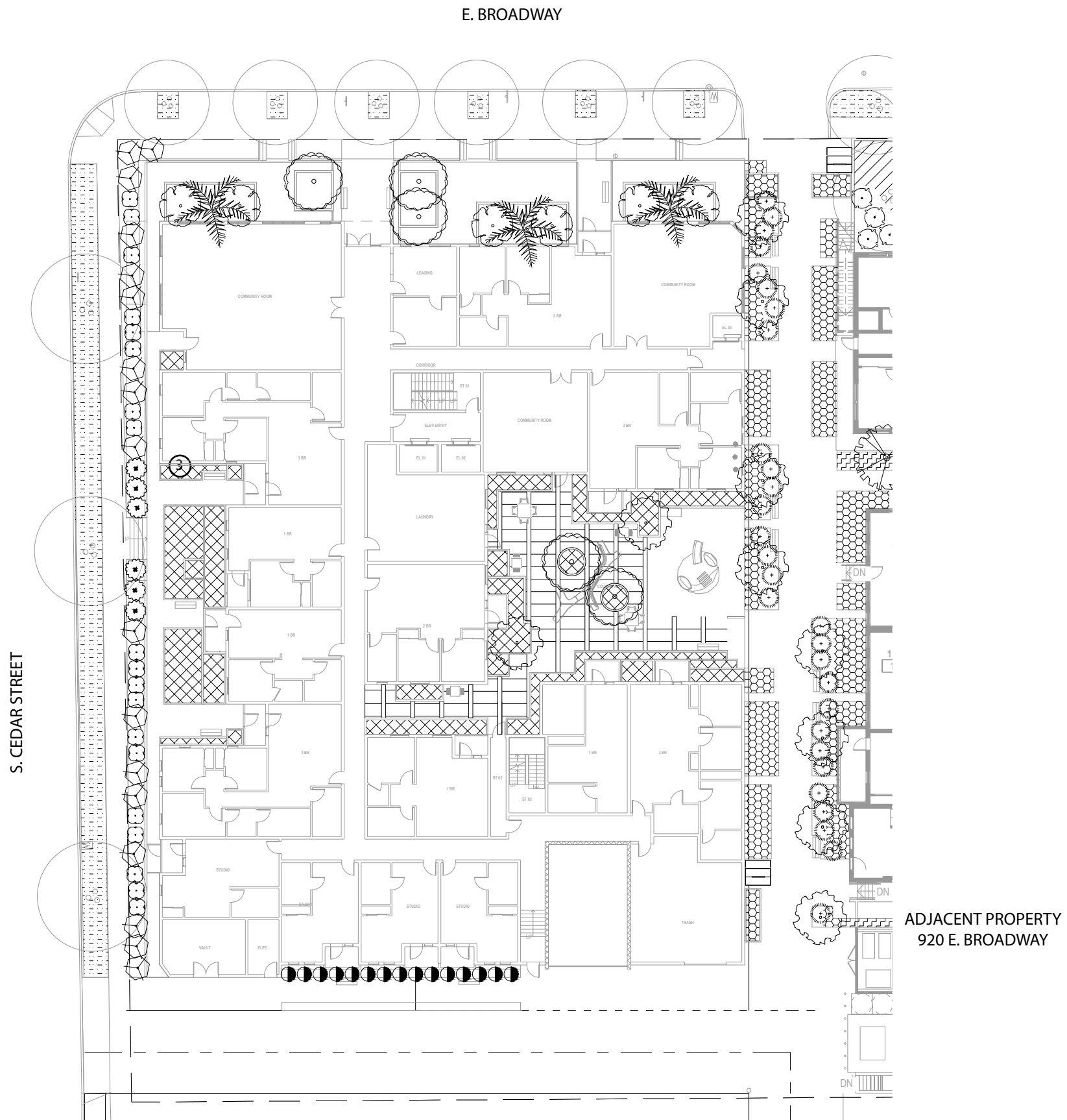
BIKE RACKS, TBD

# **SELECT ALLEY MATERIALS** STAGE II SUBMITTAL

FIRST FLOOR PLANT LEGEND			
TREES			
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE
		EXISTING TREE TO REMAIN	
	LAGERSTROEMIA INDICA 'NATCHEZ'	NATCHEZ CRAPE MYRTLE	36" BOX
	LIRIODENDRON TULIPIFERA 'ARNOLD'	ARNOLD TULIP TREE	36" BOX
	PHOENIX CANARIENSIS	CANARY ISLAND DATE PALM	36" BOX
	PYRUS KAWAKAMII	ORNAMENTAL PEAR	36" BOX
SHRUBS			
	CASAURINA GLAUCA 'COUSIN IT'	PROSTRATE SWAMP OAK	5 GAL
	FURCRAEA FOETIDA 'MEDIOPICTA'	VARIGATED FURCRAEA	15 GAL
	GREVILLEA 'MOONLIGHT'	MOONLIGHT GREVILLEA	15 GAL
	RHAPHIOLEPIS UMBELLATA 'MINOR'	DWARF YEDDO HAWTHORNE	5 GAL

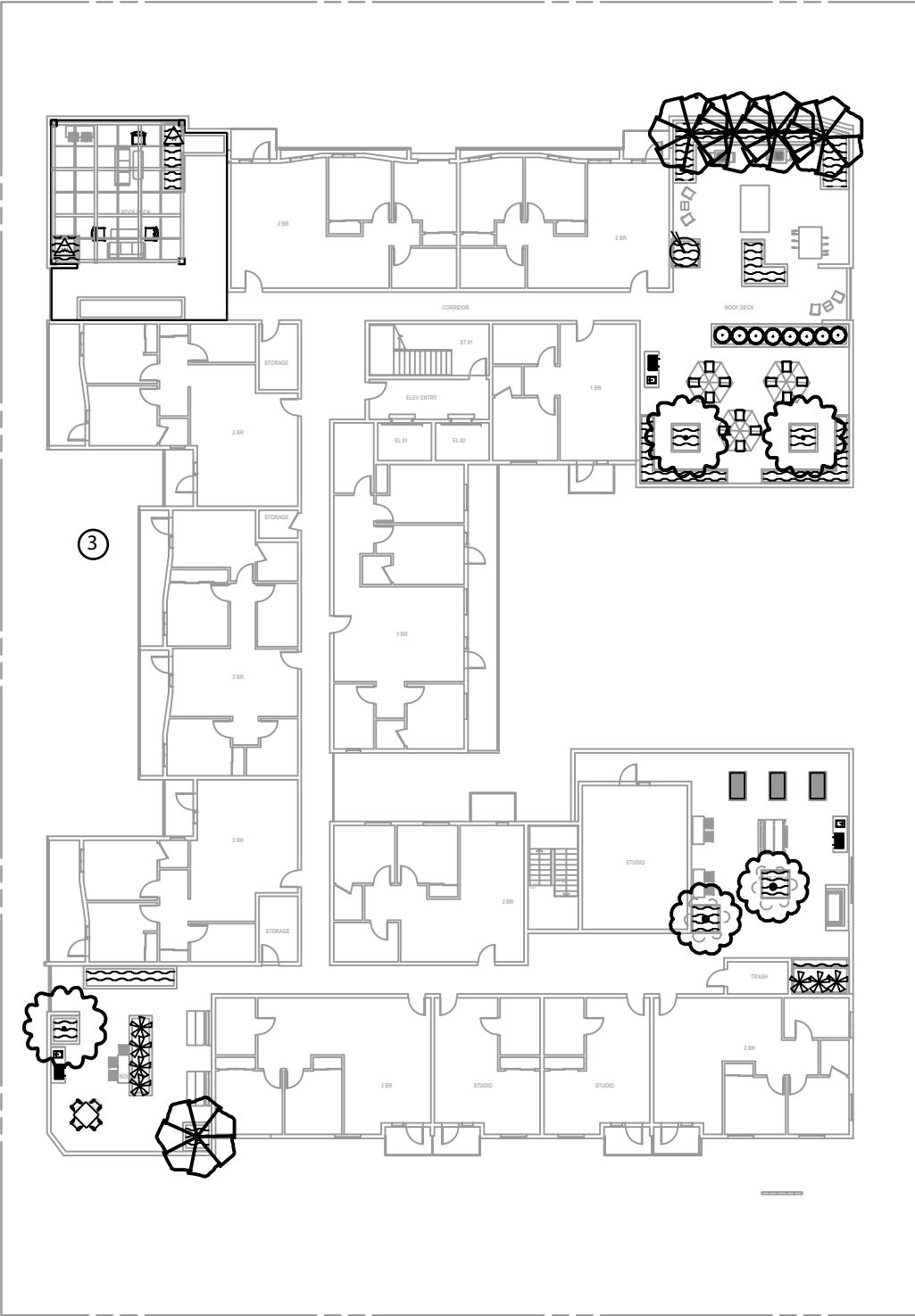
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE
	BUDDLEJA DAVIDII	BUTTERFLY BUSH	5 GAL
	CISTANTHE (CALANDRINIA)	ROCK PURSLANE	5 GAL
	GRANDIFLORA MUHLENBERGIA	DEER GRASS	5 GAL
	RIGENS SEDUM RUPESTRE 'ANGELINA'	ANGELINA STONECROP	1 GAL
	DIANELLA REVOLUTA 'LITTLE REV'	LITTLE REV FLAX LILY	5 GAL
	AGAVE ATTENUATA 'RAY OF LIGHT'	RAY OF LIGHT FOX LILY	5 GAL
	MYRTUS COMMUNIS 'COMPACTA'	DWARF MYRTLE	5 GAL
	ACHILLEA MILLEFOLIUM 'ISLAND PINK'	ISLAND PINK YARROW	1 GAL
	ALOE VERA	BARBADOS ALOE	5 GAL
	MUHLENBERGIA RIGENS	DEER GRASS	5 GAL

PLANTING LEGEND  
STAGE II SUBMITTAL

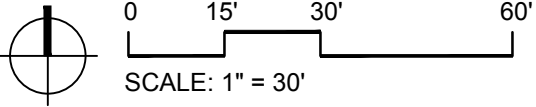


# FIRST FLOOR PLANTING PLAN STAGE II SUBMITTAL

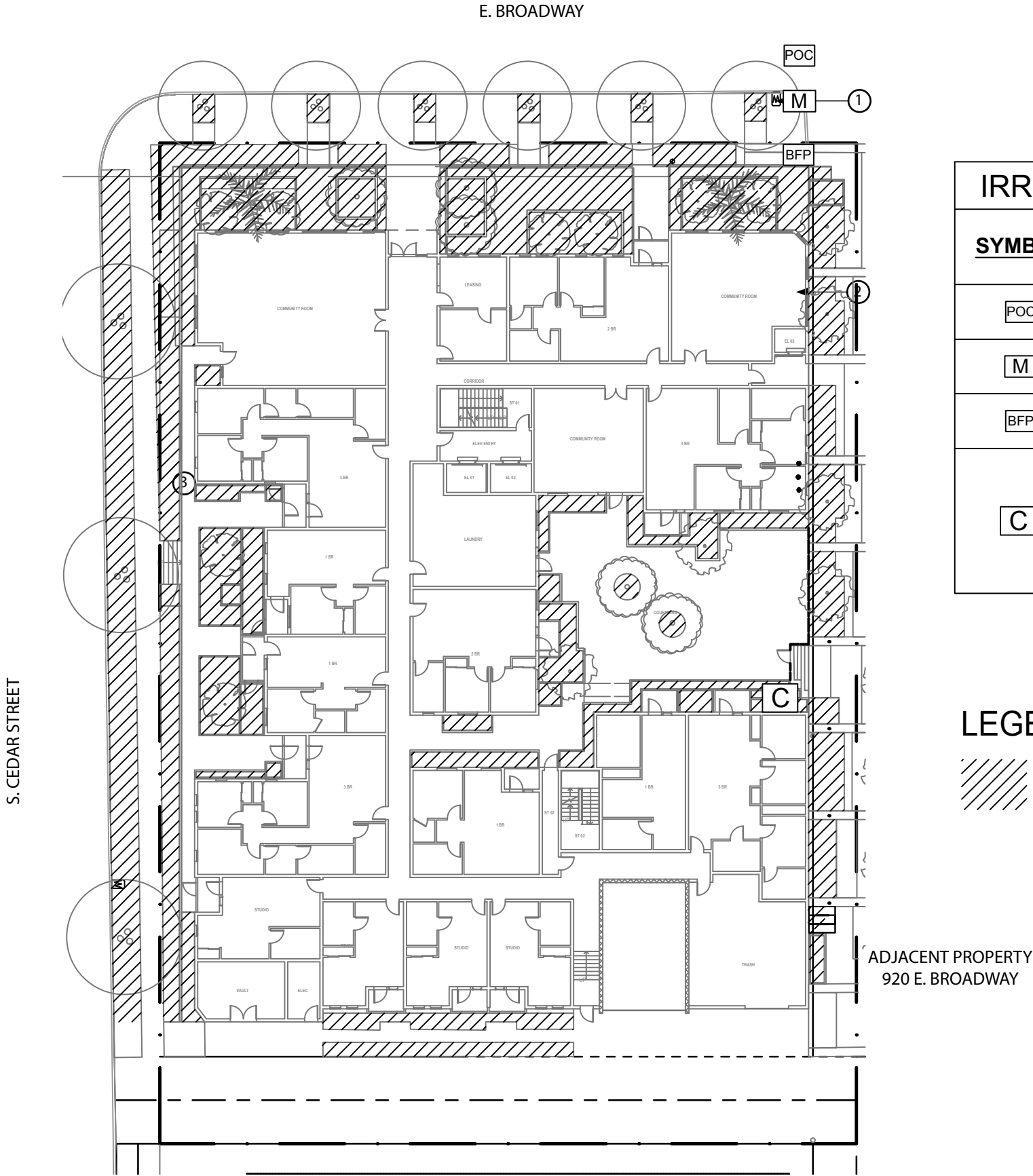
S. CEDAR STREET



FIFTH FLOOR PLANT LEGEND		
TREES		
SYMBOL	BOTANICAL NAME	COMMON NAME
	AGONIS FLEXUOSA	PEPPERMINT TREE
	CITRUS SINENSIS	WASHINGTON NAVEL ORANGE
	MELALEUCA LINARIFOLIA	FLAXLEAF PAPERBARK
OTHER PLANTS		
	BEAUCARNIA RECURVATA	PONYTAIL PALM
	MUHLENBERGIA RIGENS	DEER GRASS
	WISTERIA FLORIBUNA 'ALBA'	WHITE JAPANESE WISTERIA
	YUCCA FILAMENTOSA 'GOLDEN SWORD'	GOLDEN SWORD YUCCA
	ALOE VERA	BARBADOS ALOE
	SANSEVIERIA TRIFASCIATA	SNAKE PLANT
	TRADESCANTIA ZEBRINA	INCHPLANT
	COMMUNITY GARDEN	



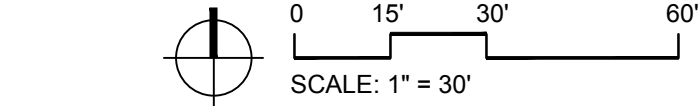
FIFTH FLOOR PLANTING PLAN  
STAGE II SUBMITTAL



IRRIGATION SCHEDULE			
SYMBOL	ITEM	MANUFACTURER	DESCRIPTION
POC	POINT OF CONNECTION		PROJECT IRRIGATION POINT OF CONNECTION
M	LANDSCAPE WATER METER		DEDICATED LANDSCAPE WATER METER
BFP	BACK FLOW PREVENTER		IRRIGATION BACKFLOW PREVENTER
C	CONTROLLER	RAINBIRD	ESPXXLXMEF: XX STATION CONTROLLER WITH, FLO-SMART MODULE, AND ET-LXM WEATHER BASED ET MANAGER MODULE AND RAIN SHUT-OFF. MOUNT IN WALL MOUNTED ENCLOSURE . ROUTE VALVE CONTROL WIRES IN SCHEDULE 40 PVC SLEEVE, ROUTE FOLLOWS MAIN LINE ROUTING.

SHEET NOTES

- ① NEW DEDICATED LANDSCAPE WATER METER AT EXISTING WATER METER
  - ② IRRIGATION FOR WEST HALF OF ALLEY TO BE INCLUDED
- 5TH FLOOR TERRACE PLANTERS TO BE IRRIGATION WITH FILLABLE INSERTS, TYP.



FIRST FLOOR IRRIGATION PLAN  
STAGE II SUBMITTAL